

**BUILDING BYE-LAWS**  
**ETIHAD TOWN**

## **CHAPTER-1**

### **INTRODUCTION**

#### **1.1 Definitions**

Unless otherwise expressly stated, the following terms shall, for the purposes of these Regulations shall have the meanings indicated in this part. Where the terms are not defined they shall have their ordinarily accepted meaning or such meaning as the context may apply.

**Addition/Alteration:** means any structural change brought about after approval of Building Plan without affecting or violating any provisions of these Regulations.

**Addition & Alteration Plan:** Building plans submitted to the Authority for obtaining approval of any structural change brought about after the completion of the building without affecting or violating any provision of these Regulations.

**Amalgamation:** means the joining of two or more adjoining (side by side and/or back to back) plots of the same land use into a single plot for building purposes.

**Apartment:** means a dwelling unit located in a multi-storey building meant to provide habitation.

**Apartment Building:** means a building containing more than two Apartments sharing common staircase lift or access spaces.

**Approved Scheme:** means a duly approved scheme under the Act for urban development, redevelopment or renewal and also includes the larger area plan and area specified for specific use/traffic control plan/housing and zoning schemes.

**Arcade:** means a covered walkway or a verandah between the shops and the street/footpath on which the shops abut.

**Balcony:** means a stage or platform projecting from the wall of the building surrounded by a railing or parapet wall.

**Base:** (applied to a wall or pillar) means the underside of the course immediately above the plinth, if any, or in case of a building having no plinth immediately above the foundation.

**Basement:** means the lowest part of a building, partly or completely below ground level.

**Bay-Window:** means a large window or a series of windows projecting from outer wall of the building and forming a recess within.

**Builder:** means any person having the ownership/leasehold title, project proponent, institution, company, firm, agency or government department, autonomous and semi-autonomous bodies who intend to undertake building works.

**Building Height:** means total height of a building measured from the crown of the road to the top of the parapet wall excluding the structures such as chimney stacks, lift heads, stair case and water tower etc.

**Building/House Line:** means line beyond which the outer face of any building except compound wall, may not project in the direction of any existing or proposed street.

**Building Plan:** means and include the plans, sections and elevations of every floor including basement or cellar, if any, clearly describing graphically the purpose for which the building intended to be erected

and the accesses to and from several parts of the building and its appurtenances, the position, form, dimensions and means of ventilation, the depth and the nature of foundations, the proposed height of the plinth and super structure at the level of each floor together with the dimensions and description of all the walls, floors, roofs, columns, beams, joists and girders to be used in the walls, floors and roofs of such buildings.

**Building Works:** means site excavation, erection or re-erection of a building or making additions and alterations to an existing building.

**Cardinal Points:** means the directions of North, South, East and West as marked on the block/building plan.

**Central Business District:** means the central business/commercial area as prescribed in the relevant Master Plan.

**Chamfer:** means the flat surface made by cutting of sharp edge or corner of the plot to enhance the visibility at the turning point.

**Clear Storey Height:** means the clear height from finished floor to bottom of roof slab.

**Commercial Building:** means a building having market, shops or show rooms, warehouses, offices, hotels, restaurants, marriage halls, gas and petrol filling stations, public transport and cargo terminal etc. on any floor and may also have apartments in it.

**Competent Authority:** means the authority competent to approve building plans under these regulations.

**Completion Certificate:** means the certificate issued by the Competent Authority on the completion of building works.

**Completion Plan:** means a building plan submitted to the Lahore Development Authority for the purpose of obtaining approval after construction.

**Contractor:** means a person hired by a builder for constructing the building as per provision of sanctioned plan and other approvals.

**Consultant:** means a person duly registered with the respective statutory professional body and hired by a builder for designing and supervision of construction activities of the building(s) in accordance with the sanctioned plan and other approvals.

**Corner Plot:** means a plot facing two or more intersecting streets/roads.

**Covered Area:** means area covered by the building / buildings above and below the ground level, but does not include the space covered by:-

- a) Court yard at the ground level, garden, rocky area, plant nursery, water pool, swimming pool (if uncovered) platform around a tree, water tank, fountain and bench etc.
- b) Drainage, culvert, conduit, catch-pit, chamber gutter and the like;
- c) Compound or boundary wall, gate, slide, swing, uncovered staircase, watchman booth and pump house.
- d) Sump tank and electricity transformer.

**Damp Proof Course:** means a layer of material impervious to moisture.

**Drainage:** means a system of natural and artificial removal of surface and subsurface water (liquid, sewage etc.) from any area.

- i) **Earth Quake Resistive Structure:** means building designed in accordance with the requirements required for buildings in Seismic Zone 2A, to prevent total collapse, preserve life and minimize damage in case of an earth quake or tremor.
- ii) **Etihad Town Administration / Management:** means those persons appointed by Etihad Town (Pvt.) Limited to run and administer Etihad Town in accordance with these bye-laws and the rules of Etihad Town, as amended from time to time.
- iii) **External Wall:** means any outer wall of a building abutting on an external or internal open space on adjoining property lines.
- iv) **Erection of Building:** means construction of building in defined premises/ boundaries which may include the structural alterations for making any additions to any existing building.
- v) **Existing Building:** means a building existing on the plot on the date of the commencement of the Plan.
- vi) **Fence:** means a temporary barrier around an excavation, a building or structure under construction or repairs.
- vii) **Fire Escape:** means an exit from a building in the event of fire.

**Fire Fighting System:** means the properly placed equipment to extinguish fire.

**Floor Area Ratio (FAR):** means the aggregate covered area of a building or buildings (excluding the area under covered parking) on a plot divided by the total area of the plot.

**Floor Height:** means the vertical distance from the top of the floor finish to the top of the floor finish on the next floor above or below.

**Foundation:** means a structure entirely below the level of the ground which carries and distributes the load from pillars, beams or walls on to the soil below.

**Gallery:** means an open or a covered walk way or a long passage.

**Ground Coverage:** means the percentage of the plot area that can be covered at the ground floor.

**Horticulture:** The art of practice of garden cultivation and management.

**Housing / Dwelling Unit:** means a part or whole of a residential building capable of being used independently for human habitation.

**Infrastructure:** means the basic facilities, utility services and installations including transportation and communication systems, water supply, drainage and sewerage system, telephone, sui gas, cable, power lines and grid stations.

**Kanal:** means a size of land equal to 20 marlas.

**Landscape Plan:** means a plan showing the visible features in the open area of plot around the building such as walkways, green areas, fountains, ponds, trees etc.

**License:** means permission granted by the Etihad Town Management to perform such functions as are allowed under these Etihad Town Bye-laws.

**Licensee:** means an individual or firm who has been duly licensed to perform a particular function or job as expressly authorized by Etihad Town Administration.

**Local Development Plan:** means plan for any specific area for specific type of urban development for which specific Building and Zoning Regulations may be prepared and notified by the Authority.

**Loft:** means a horizontal slab used only for storage purposes, which shall be allowed in kitchens, baths, corridors and store rooms or shops with access from inside only up to five feet clear height between the loft floor and ceiling above.

**Low Rise:** means a building having less than 48 ft. height, measured from the crown of the road to the top of the parapet wall excluding the structures such as chimney stacks, lift heads, stair case tower and water tower etc.

**Main Civic and Commercial Centers:** means civic/commercial areas of the approved government/private housing schemes other than Neighborhood commercial area including Divisional and District Centers as defined in the Master Plan of Lahore.

**Mandatory Open Spaces:** means the spaces required by these Regulations to be left open at ground level around the building.

**Market:** means a group of shops assigned particularly for one or more specified trades

**Marquee:** means large tent used for social or commercial functions.

**Marlas:** means a size of land equal to 225 sq. ft. (20.91 Sq. m) in case of Lahore

**Master Plan:** means the latest approved land use plan of Lahore and shall deem to include Structure plan, Outlined Development Plan, Development Plan and Spatial Plan etc.

**Minor Repairs:** means painting, white washing, plastering, paving, and replacement of doors, windows, glass, floors tiles, repairing of walls and roofs, building or rebuilding of the boundary walls as per sanctioned plan.

**Mezzanine Floor:** means any floor inter-posed between ground and first floor of a Commercial building and having head room not less than 7 feet.

**Multi-Storey Building:** means a building having more than 48 ft. height, measured from the crown of the road to the top of the parapet wall excluding the structures such as chimney stacks, lift heads and water tower etc. and classified into medium rise 1 (upto 90 feet), medium rise 2 (upto 120 feet), high rise 1(upto 200 feet), high rise 2 (upto 300 feet) and sky scrapper above 300 feet.

**Open Space:** means area of protected or conserved land on which development is indefinitely set aside.

**Other Commercial Area:** these are roads or areas predominantly used for commercial purposes in the established built up areas that have not been declared as commercial area.

**Parapet Wall:** means a wall, whether plain, perforated or paneled, protecting the edge of a roof, balcony, verandah or terrace.

**Pergola:** means a structure with perforated roof consisting of cross bars in the form of reinforced concrete, wood or steel etc. of which more than 50% of roof is open to sky.

**Period of Validity of Sanctioned Plan:** means the period specified at the time of sanctioning of building plan for the completion of the said building.

**Person:** means any cooperate or individual entity that is recognized by law as having the right to hold property and to sue and be sued.

**Plinth:** means the portion of the building between the ground level and the level of the ground floor.

**Porch:** means a roof cover supported on pillars or cantilevered projection for the purpose of pedestrian or vehicular approach to a building.

**Predominantly Open Areas:** means areas which may be unplanned/undeveloped or predominantly used for agriculture purpose or lying vacant.

**Prescribed Form:** means a form prescribed, for various purposes by the Authority under these Regulations.

**Prescribed Fee (the Fee):** means the schedule of fees applicable (as amended from time to time) to all works and applications which fall under the control or require the approval of Etihad Town Management.

**Prohibited Area:** means an area where conversion of land use is not allowed or prohibited.

**Property:** means plot or structure to which its builder has freehold title.

**Property Line:** means the boundary wall of the plot.

**Public Building:** means buildings designed for public use such as dispensary, post office, police station, local government offices, educational institutions, hospitals or clinics, mosque, fire station or any recreational building etc.

**Ramp:** means a drive way that has a running slope steeper than one unit vertical in 20 unit's horizontal (5-percent slope).

**Registered Architect:** means a person holding valid registration / enlistment with the Pakistan Council of Architects & Town Planners and enrolled on the list of approved architects maintained by the Authority.

**Religious Buildings:** means mosques, churches, shrines etc.

**Residential Building:** means a building exclusively designed to be used for human habitation together with such out houses as are ordinarily ancillary to the main building and used in connection therewith.

**Resident Engineer:** means construction supervising engineer, working for the builder to perform such duties and functions as stated in these Regulations.

**Right of way:** means width of road/street between two opposite property lines.

**Septic Tank:** means a tank in which sewage is collected and decomposed before its discharge into a public sewer or Soakage Pit.

**Setback:** means an area to be surrendered for road widening as per approved scheme/plan, under the relevant master plan of Lahore or provided under any other rule.

**Site Plan:** means the plan of the proposed construction site showing the position of the proposed building (s) and existing building (s), if any, the width and level of the streets on which the plot abuts and the adjoining plot numbers, if any, together with cardinal point.

**Soakage Pit:** means a pit filled with aggregate, boulders or broken brick and intended for the reception of waste water or effluent discharged from a Septic Tank.

**Storey:** means the space between the surface of one floor and the surface of the other floor vertically above or below.

**Structural Calculations:** means detailed calculations showing sufficiency of the strength of every load bearing member of the proposed structures.

**Structural Engineer:** means a consulting engineer registered with PEC with 5 years of professional experience as structural engineer and engaged by the builder.

**Sun-Shade:** means an outside projection from a building over a minimum Building height of 7 ft (2.13m) from the plinth level meant to provide protection from weather.

**Verandah:** means a roofed gallery, terrace or other portion of a building with at least one side open to courtyard or a permanent open space.

**Zone:** means the area earmarked for a particular use only.

## **CHAPTER No. 02**

### **GUIDE LINES**

#### **General**

This chapter contains salient features to educate the owner of the plots in Etihad Town about documentation, office procedures and sequence of actions to start the construction and their obligations after completion of construction of the property. It also lays down the code of conduct for builders, contractors, workers and all other agencies involved in the construction of the houses and buildings in any way. Notwithstanding anything contained in these Etihad Town Building Bye-laws, the owners, builders, contractors, architects and engineers shall jointly and severally remain responsible for complying with all applicable laws, rules, regulations, policies, orders and directives of any Government or Semi Government Department or those of Lahore Development Authority and of other Government Departments etc., in all respects and shall hold Etihad town, its management and employees etc. completely harmless and fully indemnified in all respects.

#### **1. Possession of Plots**

- a. The possession of a plot shall be in accordance with the terms of the agreement to sell / sales contract which has been executed and finalized by the Owner or their appointed Attorney.
- b. The validity of approved site plan is 6 months and in case of expiry thereof, the Owner will be required to apply afresh to Etihad Town Management for issuance of new site plan subject to the payment of prescribed fee.
- c. The plot shall be strictly utilized for the same purpose for which it has been allocated. To preserve the sanctity of planning, no deviation shall be permitted.

#### **2. Application for construction of or addition to a building**

Application form for erection, construction, addition or alteration of a building will be available at the Etihad Town Management office. This shall be submitted duly completed. Copy of the building bye-laws & regulations shall also be provided for guidance of the owners and their respective representatives, personnel and contractors. The Owner receiving the copy of bye laws shall sign an Acknowledgment (refer Annex 'A').

#### **3. Submission of Drawings**

- a. The Owner shall get the drawings prepared qualified / LDA registered Architect, which shall bear his stamp, signature and registration number and shall be in the prescribed form.
- b. In case the Owner get the drawings prepared from a qualified / registered Architect, the Owner will submit following documents:
  - 1) Seven (7) set of Building Plans in ammonia / digital print
  - 2) Copy of Allotment Letter
  - 3) Copy of Possession Letter
  - 4) Site Plan
  - 5) All Required Forms of LDA,
  - 6) Required Stamp Papers of LDA.
  - 7) Soft Copy of Building Plans.

These documents will be initially submitted with the Etihad Town Management office. Specimen of submission drawing is placed as **Annex 'B'**.

- c. Etihad Town Management office will scrutinize the Building Plans and shall return to the Owner five (05) duly stamped copies thereof after retaining one copy for record. The Owner shall submit Five (5) copies of the Building Plans to LDA for approval. The Owner shall remove any and all objections of LDA, if any. After approval of the same from LDA, the Owner will resubmit one set of drawings, Copy of LDA Sanction Letter to Etihad Town Management office prior to starting construction.
- d. In addition to any fee payable to LDA, Etihad Town Management Office shall charge such Prescribed Fee as may be levied by the Etihad Town Management for scrutiny of the Building Plans and other matters arising during the scrutiny of plans or during the course of construction. The Owner acknowledges that all fees applicable to gain approval for submitted drawings will at all times be paid or reimbursed by the Owner.

#### **4. Location of Services**

The Owners along with their architect are advised to visit the respective Plot or Etihad Town Management office before finalizing the house plans to see / confirm the location of existing services at site.

#### **5. Engagement of Architect and Design / Structural Engineer**

Every Owner intending to carry out building works entirely new or involving addition or alteration shall engage a licensed architect for preparation of drawings / construction plans. The Owner / architect must consult the latest LDA Building Regulations for more details and their implementation except where Etihad Town By-laws & Regulations are more stringent, which shall be read as an addition to LDA Building Regulations and not in derogation of the same.

#### **6. Design of Building**

All Multi- Storied Buildings including basement shall be designed by a Structural Engineer registered with Pakistan Engineering Council having at least 5 years of experience, who will provide a structural stability certificate of the building. This certificate shall bear the registration number, signature, stamp and latest address of the Structural Engineer. This certificate will be attached with the drawings by the Owner.

#### **7. Preparation of Drawings / Building Plan**

- a. To preserve the sanctity of planning of essential services, construction of only one unit per plot is allowed. Any drawing / plan showing more than one unit will be rejected. The Building Plan for construction shall clearly indicate the following details:-
  - 1) External dimensions of buildings.
  - 2) Schedule of open / covered areas.
  - 3) Position of proposed drains, grease traps, fire place etc.
  - 4) Internal dimensions of all rooms.
  - 5) Specifications of all components are indicated on the drawings.
  - 6) Location of services like water supply, underground and overhead water tanks.
  - 7) Layout of sewerage system and cross section of septic tank.
  - 8) Detail of construction of ramp. (cross section)
  - 9) Total height of building including basement and Mumty.
  - 10) Cross section of boundary wall, internal walls and RCC walls.
  - 11) Levels of road crest, ground and plinth.
  - 12) Schedule of doors and windows.

- 13) Foundation details of walls and columns.
  - 14) Place and section of stair case.
  - 15) North line indicator / cardinal points.
  - 16) Legend showing name and signature of the plot Owner / block number, name of architect with his official stamp.
- b. Building Plan, Key Plan and sectional drawings shall be made on the scales given below:-
- 1) A key plan drawn to a scale of not less than 40 feet to an inch showing the position of proposed building, existing buildings, plots and roads.
  - 2) Building Plan and elevation at minimum scale of 1"=8'.
  - 3) Sectional drawings at minimum scale of 1"=4'

## 8. **Scrutiny / Approval of Drawings**

In case the Owner get the drawings prepared from a 3<sup>rd</sup> party qualified / registered Architect, the Owner will submit the following:

- a. Seven (7) sets of drawings duly signed by the Owner and stamped by a licensed architect, will be submitted to the Etihad Town Management for scrutiny.
- b. The Owner may collect Six (6) sets of drawings duly scrutinized by the Etihad Town Management office after maximum of 7 working days and shall submit the same to LDA for approval. The Owner shall remove any and all objections of LDA, if any.
- c. After approval of Six (6) set of drawings from **LDA** the Owner will submit following documents to the Etihad Town Management:-
  - 1) One set of approved drawings from **LDA**.
  - 2) Undertaking on Stamp paper of Rs. 50 duly attested by the Oath Commissioner (refer **Annex 'C'**).
  - 3) Two copies of Site Plan duly attested by the Etihad Town Management.
  - 4) Two copies of CNIC duly attested by the Etihad Town Management.
  - 5) Two copies of Transfer Letter if Applicable duly attested by the Etihad Town Management.

**Note:** Owner to produce original documents at the time of attestation from the Etihad Town Management.

- d. Upon receipt of above documents, the owner shall be allowed, strictly in accordance with the approved plan, to start construction on the physical demarcation of plot carried out / given to the Owner.

## 9. **Addition / Alteration**

- a. If an Owner intends to make any changes in the original / approved Building Plan, he shall submit 5 copies of revised plan, together with the Prescribed Fee. No work of modification shall be undertaken unless revised drawings is approved by LDA.

Prior to the commencement of any work. The Owner must lodge a copy of the LDA approved plan for the proposed Addition / Alteration with Etihad Town Management.

- b. Unauthorized / unapproved construction whenever detected, shall be demolished by the competent authority, at the risk and cost of the Owner besides taking other punitive actions as decided by Etihad Town Management.

## **10. Validity of Approval**

The validity of approval of drawings shall expire after 3 years from the date of approval by LDA, if no construction is completed within this period.

## **11. Oversight in Scrutiny of Drawings:**

Any oversight in the scrutiny and clearance of drawings and subsequent approval / sanction of the Building Plan, which is contrary to the Bye-laws, does not validate the approval to the extent which is not in conformity with the bye laws and shall be demolished by the competent authority whenever detected. Completion of the building strictly as per these bye laws remains the sole responsibility of the Owner.

## **12. Fees for Scrutiny of Drawings**

Etihad Town Management shall charge the Prescribed Fee for all Building Plans and Plans for Alterations and additions for each size of residential and commercial plots separately at the rate set out in the fee schedule by the Etihad Town Management. The Prescribed Fee will be subject to revision from time to time by Etihad Town Management and the Owner shall comply with the same rates, if revised without any objection or claim whatsoever.

## **13. Demarcation**

- a. Demarcation of Plot shall be done once by Etihad Town Management according to the prescribed procedure. Construction work must start within six months after the physical demarcation of the Plot.
- b. The Owner will ensure that he does not, either willfully or by default encroach or adversely prejudice any area of his neighboring plots. In any such event the construction will be demolished at the risk and cost of the Owner and the Owner shall be fined as per the decision of the Etihad Town Management.

## **14. Loss of Demarcation**

In case the Owner fails to start the construction within six (06) months of demarcation / handing over of the Plot, demarcation shall be deemed to have expired and the demarcation has to be carried out afresh on payment of the Prescribed Fee. This is to ensure that the area of neighboring plots is not accidentally or deliberately taken encroached by the Owner or his / her representative / attorney. Any incident will entail heavy fines along with dismantling of such foundation / structure at the risk and cost of the Owner.

## **15. Construction Sequence / Boundary Wall Construction**

After demarcation and before starting actual construction of the building, the Owner shall construct boundary wall up to DPC level and a water storage tank with side walls minimum 42 inches above the ground level (to avoid any accident) and set up a temporary camp for watchman and storage facility.

- a. The Owner is personally responsible to construct the building strictly in accordance with the approved drawings and the Etihad Town Building Bye-laws of Etihad Town and to regularly check the progress without need of any inspection by the Etihad Town Management. Any delay in inspecting the building at specified stages by the Etihad Town Management for any reason whatsoever, does not entitle the Owner to violate the construction bye laws and does not constitute as a waiver for the past default, if any.
- c. Indemnity bond shall be submitted by the owner to the Etihad Town Management Office before receiving the approved building plan from LDA.

## **16. Temporary / Permanent Utility connection**

After the demarcation and physical possession / taking over of the respective plot by the Owner, as prescribed the Owner may apply for a metered connection from the concerned utility companies e.g. LESCO, SNGPL (approved meter to be supplied by the Owner). The owner shall pay the all the charges as applicable.

### **a. Water Supply**

After the demarcation and physical possession / taking over of the respective plot by the Owner, provision of water for construction purposes shall be arranged by the owner through a ground water bore.

### **b. Electricity**

The Owner should apply to LESCO Sub Division after Receiving NOC from Etihad Town Management office for electric connection on the prescribed form, available in LESCO office. The connection shall not be used for purposes other than applied for.

### **c. Gas and Telephone Connections**

The Owners are advised to apply directly to the concerned departments for the connections on commencement of construction.

## **17. Termite Proofing**

As there is a positive evidence of the presence of termite in the area, Owners are advised to carry out termite proofing through a recognized dealer / supplier during the initial phase of construction.

Etihad Town Management expressly denies any responsibility whatsoever for any claim / complaint, which may be filed by Owner of a plot due to the presence of termite in the area.

## **18. Completion Period**

- a. Construction shall commence, continue and to be completed as per the approved drawings strictly as per the Etihad Town Building Regulations, within a period of 36 months from the date of possession / possession announcement (whichever is earlier). Owner shall be charged enhanced maintenance charges as decided by the Etihad Town Management beyond this period till completion of the house. In case due to unavoidable circumstances if the Owner is unable to continue the construction, he shall notify the Etihad Town Management about the reasons of delay in writing and get an extension approved for the period of construction form LDA and shall also duly intimate Etihad Town Management and shall seek its due approval.
- b. During period of suspension, the Owner shall be liable to make his own arrangements to look after the incomplete construction and any materials stores on the Plot. In addition the Owner is to arrange to have a secure chain link mesh fence or similar fence, approved by Etihad Town Management erected on any open side of the Plot so as to make the building site completely locked and secured.

## **19. Completion Certificate**

On completion of construction, the Owner shall duly apply in writing to Etihad Town Management, formally for completion certificate, subsequently to be approved by LDA.

**20. Obligations of the Buyer / Owner**

A buyer of a Plot, Residential Building, Commercial Building or any other approved building or structure within Etihad Town shall abide by all Bye-laws and Regulations applicable to Etihad Town. The Owner shall not make any addition / alteration in or to the purchased property without prior written approval of the Etihad Town Management and/ or of LDA.

**21. Delegation**

The Etihad Town Management may delegate in writing all or any of the powers as laid down in these Bye laws & Regulations to any of its officers, agents or employees for the purposes of its implementation.

**CHAPTER-03**  
**DESIGN PARAMETERS**  
**RESIDENTIAL**

**3.1 General:**

Following parameters for residential area are to be strictly adhered to, detailed as per guideline following herewith:

**3.1.1 Mandatory Open Space**

Plot Size/zone	Building Line	Rear Space	Side Space
Less than 5-Marla	5 ft (1.52 m)	5 ft (1.52 m)	Not required
5 Marla's & above but less than 10 marlas	5 ft (1.52 m)	5 ft (1.52 m)	Not required
10 Marlas to 30 Marlas	10 ft (3.05 m)	7-ft (2.13 m)	5 ft (1.52 m) (on one side)
Above 30 Marlas but less than 2-kanals	10 ft (3.05 m)	7-ft (2.13 m)	5 ft (1.52 m) (on both sides)
2-kanals & above	20-ft (6.1m)	10 ft (3.05m)	10-ft. (3.05) (on both sides)

**3.1.2 Building Height**

- a. The height of any residential building other than Apartment Buildings measured from the crown of the road to the top of the parapet wall shall not exceed as described in section 3.2.
- b. No residential building other than Apartment Building shall contain more storey as described in section 3.2. And the minimum clear height of each storey, other than the basement, shall not be less than 9-ft 6-inches (2.9m), measured from finished floor level upto underneath of the roof slab above.

**3.2 Ground Coverage**

Floor Area Ratio (FAR), Height, No. of Storeys, and Parking Requirements Maximum ground coverage, height and floor area ratio (FAR) shall be as described:

Plot Size/Zone	Max No. of Storey (excluding basement)	Max Ground Coverage	Max Height	Max FAR	Minimum Parking Provision
Less than 5-Marla	3	80%	38 ft	1:2.4	Optional
5 Marla & above but less than 10 Marla	3	75%	38 ft	1:2.3	Optional
10 Marla & Above but less than 1 Kanal	4	70%	45 ft	1:2.8	Optional
1 Kanal to 30 Marla	4	65%	45 ft	1:2.6	Optional
Above 30 Marlas but less than 2-kanals	4	60%	45 ft	1:2.4	Optional
2-kanals & above	4	55%	45 ft	1:2.2	Optional

### **3.3 Residential Building Height Standards:**

The following shall be the heights standers for residential buildings, namely:

DESCRIPTION	CLEAR HEIGHT (FT.)	
	MAXIMUM	MINIMUM
Level of main gate (being opened on the main street/road)	1'-0"	1'-0"
Plinth Level	3'-0"	2'-0"
Boundary Wall from Plinth Level ( 2ft. high protective grill is permitted)	7'-0"	5'-0"

- a) Basement is included in FAR.
- b) Structure Stability Certificate, Structure Drawings and Calculations are required above 38' (4 Storeys) duly vetted by the Structural Engineer on the panel of LDA.
- c) In case of amalgamation, Building Regulations of the resultant plot size shall be applicable.
- d) Applied only on new proposed and Re-build plan.
- e) For parking provision, a storey must contain at least a habitable room, a latrine, bath room and a kitchen.

### **3.4 Porch**

- a. Only one car porch is permitted on all plots except corner plots of one kanal where two car porches are permitted
- b. Minimum height of car porch shall be 10 feet from the road crest level.
- c. Length of car porch resting on pillars / boundary shall not be more than 20 ft.
- d. Folding shelter can be used to extend car porch by maximum of 6 ft. from the edge of the car porch for use as sunshade for parking vehicles.

### **3.5 Toilet/Bathroom**

A toilet/ bathroom not exceeding 40 sq.ft (3.72 sqm) in area and 8 feet (2.44 m) in height can be constructed in the rear corner towards the dead wall as an integral part of main building.

### **3.6 Amalgamation of Plots**

Two or more plots of 1 kanal or less, may be combined for constructing one house / building, subject to approval by LDA and payment of the prescribed fee to LDA and Etihad Town, subject to the conditions given below:-

- a. Combined area should not exceed 2 kanals.
- b. All such plots are owned by the same Owner.
- c. Plots are adjoining (side by side / or back to back) and of the same land use.
- d. The mandatory clear spaces for the combined plot will be decided by the Management on case to case basis.
- e. Reversion / subdivision of the combined plots may be allowed after payment of the requisite fee / charges related to the status before combining.

### **3.7 Annexation of Plots:**

- a. Plots can be annexed for making house on one plot and using the other as a lawn provided that:-
  - 1) Approval in writing is obtained by the Management on payment of the prescribed charges.

- 2) Plots are owned by the same Owner.
- 3) Plots are owned by husband and wife.
- 4) Plots are owned by any of the blood relations.
- 5) All maintenance charges shall be paid by the owner for the Annexed plot.
- b. A combined boundary wall may be constructed around the plot so annexed with a gate, if required.
- c. Fountains, rockeries, pergolas and waterfalls etc can be constructed provided they are temporary in nature and do not allow human inhabitant on the plot so annexed. However, these features should have clear side / rear spaces (as specified earlier) from the boundary wall of the neighboring plots

**3.8 Subdivision of Plots**

Sub division is not allowed, so the layout plan of Etihad Town shall not be changed. However as per **LDA PHS Rules**, subdivision of less than 01 Kanal cannot be allowed.

**3.9 Construction in Clear Spaces**

- a. No construction shall be carried out in the mandatory clear spaces except drains, septic tanks, flower beds, sewer line and wash hand basin.
- b. Construction of rockery / fountain may be permitted in the front lawn, however, it should not touch the boundary wall of the neighboring plots.

**3.10 Basement**

- a. Basement can be constructed on 100 percent allowable area excluding spaces under the porch, sunken area, septic tank etc. and mandatory clear spaces. Indemnity Bond shall be submitted by the Owner to the Management before receiving the approved building plan from LDA. However, a minimum of 5 feet space shall be left towards a dead wall.
- b. Basement shall have PCC floor and RCC walls properly insulated against leakage properties.
- c. For disposal of sewage and water, proper water disposal and sewerage network shall be laid leading to additional / existing septic tank (catering for additional load due to basement). The basement sewage shall be disposed of to the Etihad Town sewer through a sludge pump installed on a sump which shall also dispose of rain water. A water catchment drain plan shall be shown on the drawing.
- d. Sunken area for approach stair to basement cannot be extended into mandatory clear side / rear space.

**3.11 Frontage of Plots**

In case of plots abutting on more than one road, frontage shall be with reference to the main road.

**3.12 Splaying of Plot / Chamfer**

All corner plots shall be splayed on both sides from the corner as follow:-

- 5 Marla ----- 5 Ft
- 10 Marla ----- 6 Ft
- Above 10 Marla ----- 10 Ft

**3.13 Design of Ramp**

- a. Ramps are a facility permitted on the Etihad Town’s land/ roads. Whereas according to the bye- laws ramp slope must finish within five feet from boundary wall, Owners have the tendency to extend the ramps beyond this line, thus causing obstructions to the flow of traffic on the road. Any ramp extending into the road will be removed at the sole cost of the Owner.
- b. Since the area outside the boundary wall is liable to be dug by Etihad Town Management for repair and maintenance of services, the Owners are informed not to construct expensive ramps.
- c. Pavement / earth filling from the road edge shall have an outwards slope of 4% up to a distance of 5 ft. all along the property line and from where it shall go at the same level up to the boundary wall.

### **3.14 Culvert for Services Duct under Ramp**

Electricity telephone connections and other services shall be made to pass through the culvert for underground ducts / pipes under the ramp of each house.

### **3.15 Rain Water Harvesting**

Provision of rain water harvesting shall be made by each resident as per LDA Bye-Laws.

### **3.16 Boundary Wall**

- a. Maximum height of boundary wall shall be 7 ft. from the plinth level. No offsets decorative works or coping abutting on the road side and beyond the property line is permitted. No Grills are permitted on top of the constructed walls.
- b. Every Owner constructing the house first shall construct the boundary wall which shall be treated a common boundary wall for the adjoining houses.
- c. The Owners have no jurisdiction over the area outside the boundary wall being property of Etihad town. Erection of temporary / permanent structure of any type like concrete / masonry flower beds, hedge, fence and barbed wire shall be treated as encroachment.

### **3.17 Guard Room**

Guard room may be constructed on a two 2 kanal plot (amalgamation of 1 kanal plots) having size of 5 ft. x 5 ft. with a maximum height of 8 ft. from the road crest level, adjoining to the main gate towards the lawn.

### **3.18 Inspection of Buildings**

The Owners shall compulsory get the construction stages checked by the Etihad Town Management office in order to ensure violation free construction of their house / building. At the completion of each stage, the Owner shall approach the Etihad Town Management office to get the clearance in writing and only then proceed to the next stage. Stage wise construction inspection report Performa is placed at **Annex 'F'**.

### **3.19 Prerogative of Management**

- a. The Owner will strictly respect and observe the construction bye-laws creating a healthy living environment. Etihad Town Management is empowered to take strict punitive action so as to preserve the sanctity of planning parameters. The Owners and the residents shall be strictly bound by the decisions and directions of the management failing which they shall be dealt with according to the gravity of the violation and penalized accordingly.
- b. Carry out changes / modifications or any other procedure relating to approval of drawing or execution etc., and revision of various fees / charges which are not otherwise covered in the bye-laws but considered useful in the overall interest of Society.

### **3.20 Interpretation of Bye-Laws**

- a. In case of any ambiguity or misunderstanding about any of these Bye laws, the opinion of the management shall be final and conclusive as to the interpretation of any such bye-laws, rules and procedures.
- b. The direction of Etihad Town Management on any issue not expressly covered by these bye- laws shall be valid and binding.

### **3.21 Cooperation with the Management**

The sole objective of the Etihad Town Management is to provide a pollution free and safe & secure environment. This cannot be achieved without cooperation and participation by the Owners, who are, therefore expected to extend full cooperation to the Etihad Town Management for managing the business of the society in a most cordial and efficient manner.

## CHAPTER-4

### DESIGN PARAMETERS: COMMERCIAL & PUBLIC BUILDINGS

#### 4.1 Mandatory Open Spaces

No mandatory open spaces are required in plots reserved for commercial / office use in the Central Area.

#### 4.2 Main Civic and Commercial Centers & Neighborhood Commercial Areas

##### 4.2.1 Mandatory Open Spaces

No mandatory open spaces are required in commercial /office building use in the main Civic and Commercial Centers as well as Divisional and District Centre and neighborhood, including basement provided the level of arcade shall not be more than 6- inches from the adjoining road level.

##### 4.2.2 Coverage, FAR & Building Height

The Ground coverage and FAR shall be as under:

##### **Ground Coverage and Floor Area Ratio (FAR)**

<b>Zones</b>	<b>Ground Parking Floor</b>	<b>FAR</b>	<b>Storey</b>	<b>Height (Including parapet wall)</b>	<b>Plot Size</b>	<b>Parking requirement</b>
Low Rise Required	7/8th of plot area & 3/4th on Subsequent floor	N.A	G +2	Upto 38 feet	Less than 4 Marla	Not Required
Medium Rise- 1	7/8th of plot area & 3/4 th on Subsequent floor	N.A	G +5	Upto 72 feet	4 Marla less than 10 Marla	Not Required
	7/8 th of plot area & 3/4 th on Subsequent floor	N.A	G +6	Upto 90 feet	10 Marla to less than 2 kanal	Not Required

Medium Rise- 2	7/8 th of plot area & 3/4 th on Subsequent floor	1:5:5	G +9	Upto 120 feet	Min 2 kanal and less than 4 kanal	Not Required
High Rise-1	7/8 th of plot area & 3/4 th on Subsequent floor	1:8	G +14 + Service floor	Upto 200 feet	Min 4 kanal and less than 8 kanal	One car space for 1600 sft useable area

Only one basement is allowed with a maximum depth of 12ft (3.66m) from the road level for plot area up to 1 kanal. However, plots fall in Medium Rise Zone-2 (upto 120ft height) may have more than one basement.

#### **4.3 Combination of Commercial Plots**

Two or more plots of any size in the commercial area may be combined with prior approval of the Etihad Town Management and upon payment of prescribed fee, provided the plots are owned by the same Owner and are contiguous (side by side or back to back).

#### **4.4 Salient Features**

These are explained in the succeeding paras:-

- a. The elevation of all shops shall be carefully planned for better aesthetics with minimum 100% glass frontage. Air-conditioning compressor units, water geysers etc. shall all be placed on the rooftop. No service equipment shall be allowed on the building façade or the rear portion of the structure.
- b. Construction of arcade / covered walkway at the front of the building is obligatory. Arcade width of main commercial building will be 10 ft. including arcade pillars.
- c. Stair case to upper level or basement shall not extend into the arcade.
- d. Access to the mezzanine floor at ground floor shall be provided from within the shop and not from the arcade.
- e. Sign board fixing arrangements like hooks / pegs shall be planned at the time of pouring the concrete.
- f. Proper provision for light and ventilation shall be made for all toilets, bath rooms and shall be shown in the drawings.
- g. No spouts shall be fixed on the roof top for drainage of rain water. It shall be drained through down pipes.
- h. No projection shall be made extending towards adjacent plots however a projection of 1 ft. 6 inches for signage only towards the road facing façade is allowed.
- i. No sanitary pipes for kitchen and bath rooms shall be allowed to be installed on any face of the building.

#### **4.5 Additional Regulations**

Following additional Regulations shall also be applicable:

- a. The floor level of mandatory open spaces for all buildings shall not be more than 6 inches higher or lower than the adjoining road level.
- b. No boundary wall between two adjoining commercial buildings to improve access of utility vehicles.
- c. Vehicular entry and exit shall be provided.
- d. Except emergency exits, window and other openings on the upper floors shall not be allowed, which may adversely affect the privacy of adjoining properties.
- e. Parking shall be provided as laid down in these Building Regulations.
- f. No structural changes shall be allowed in the buildings after grant of temporary / annual commercialization.
- g. The side spaces between two commercial buildings shall be kept at the same level for common use.
- h. Parking Basements can be constructed according to the soil conditions/water table in the particular area
- i. For energy efficiency, all new commercial buildings shall provide LED lights for lightening
- j. In all new commercial buildings, solar energy systems, shall be provided at least for corridors lights.
- k. For plots abutting on 60-ft and above right of way, separate plans for basement shall be submitted and sanctioned/released in the first phase in residential buildings.
- l. Underground water tank and overhead water tank shall be provided in all types of buildings.
- m. In commercial building insulation of outer walls, roofs and windows shall be provided for energy efficiency.
- n. In multi storey buildings, the outer window glass shall be double glazed/heat resistant and tinted in order to control air leakage.
- o. Walls facing sun shall be insulated in residential and commercial buildings.
- p. The roofs and sun facing buildings sides shall be insulated.
- q. Heat/Light repellent paints shall be used on outer walls of buildings.
- r. The lighting system of buildings shall comply with the provisions of Building Code of Pakistan (energy provision-2011) and LED lights shall be installed in commercial buildings in place of conventional incandescent bulbs.
- s. For false ceiling and wooden paneling fire ratted building material shall be used with proper fire safety measures.

#### **4.6 Design of Multilevel Building**

- a. All components of buildings shall be designed by the Owner's Architect who will engage a qualified Structural Engineer registered with Pakistan Engineering Council. They will submit structural calculations and a structural stability certificate of the building, to verify the structural stability of foundations and super structure. This certificate should bear the registration number, signature, stamp, latest address and telephone numbers of the structural engineer and is to be submitted along with the submission drawings by the owner.

- b. The Geotechnical investigations shall be done in light of specific details of the building having four (4) Floors and above. The report containing scope and quantum of testing with results which form the basis of structural calculations shall also be submitted.
- c. Construction of the building shall be supervised by a competent and registered engineer / Architect. However, clearance of Etihad town Management shall be obtained by the Owner on following stages:-
  - 1) Completion of foundations.
  - 2) Construction of basement up to its roof slab.
  - 3) Construction up to plinth level.
  - 4) After laying each roof slab.
  - 5) On completion of building.
- d. The design shall include provisions for safety as per Seismic Design Category-2A.
- e. Tests for construction material to be used should be conducted from approved agency / laboratory at the cost of the Owner, to ensure quality standards.
- f. Complete record of tests of materials and their results shall be kept available for inspection by the Etihad Town Management office during progress of work and where required copies made and retained on the management file.
- g. In spite of all the precautions highlighted above, safety of the building / structure shall remain the responsibility of the Owner.

#### **4.7 Covered Area for 4 to 10 Marla Commercial Plots as per LDA Regulations**

Covered Area and FAR (floor area ratio) shall be strictly as laid down in the LDA Building and Zoning Regulations 2019, as amended.

#### **4.8 Construction of Basements**

- a. Basements may be constructed on the whole area of plot in commercial buildings. In all such cases the minimum height of plinth should be 3'-0" above the road crest level. Indemnity bond shall be submitted by the owner to the management of Etihad Town before receiving the approved building plan from LDA. **(Refer Annex-G)**
- b. Basement shall be served with an independent entrance and in addition it shall have an emergency exit.
- c. Under ground water tank and septic tanks shall be constructed under the arcade.
- d. Basement walls shall be RCC walls made fully water proof so that no leakage / seepage is caused to the neighboring buildings / properties.
- e. For construction of basement beyond 12 ft. depth from road level, RCC piling along all four sides of the plot at the property line is obligatory.
- f. In case of installation of any equipment / machinery in the basement or due to faulty construction of underground water tank / septic tank any damage is caused to the adjoining building / property, the Owner of the defaulting premises shall make good such loss to the entire satisfaction of the neighbor.

#### **4.9 Arcades / Verandah**

- a. Arcade / verandah level shall be uniform throughout as per the level of adjoining shops, splitting of level is not permitted for safety of public.
- b. Module of pillars / column should be two equal openings in the verandah. The columns should be designed in the square / rectangular shape.
- c. Arcade / verandah shall not be used for stacking of items like crates, freezers, ice cream machines etc. and it shall be kept clear at all times for the convenience of the customers.

#### **4.10 Mezzanine / Inter floor in shops**

- a. Total area of mezzanine / inter floor in any shop shall not exceed 2/3 of total area of the shop.
- b. Every mezzanine / inter floor shall be open except a protection wall, balustrade or railing minimum 3 ft.

3 inch and maximum 4 ft. in height.

#### **4.11 Hard Standing in front of shops**

- a. No ramps are allowed in commercial area, only flat hard standing shall be made.
- b. Pavement between the road and drain shall have a 2 percent slope towards the drain, so that no water stands on the edge of road.
- c. A drain 1' x 1' and 9'' deep shall be made at the end of the hard standing and covered with a steel grating which shall be connected to the manhole.
- d. Natural drainage of rain water shall not be obstructed up to the drain. Pipes must be installed or open drain covered with grating is made for passage of water.

#### **4.12 Ramps and toilets for Disabled Persons**

In all commercial buildings a ramp of minimum 4 ft. width should be provided. In case of non-provision of lifts, each floor should be accessible through this ramp. A toilet for disabled must also be provided on each floor.

#### **4.13 Water tanks**

It is obligatory to make underground and overhead water tanks of capacity compatible to size of the plot. Water shall have to be pumped up to the overhead water tank placed on the roof.

#### **4.14 Solid Waste Management**

Refuse chutes shall not be used in multi-storey buildings for the disposal of solid waste. A solid waste management plan will be entered into with each Owner of the commercial building by Etihad Town Management, but in essence, all waste generated from the building must be properly wrapped and placed in the receptacles provided by Etihad Town management for bulk collection. Each store or premises must make provision within their own premises for suitable bins to be installed.

#### **4.15 Sewerage**

Septic tanks if required by LDA, shall be constructed under the verandah. If there is a requirement for the installation of a septic tank no building shall be given sewer connection without the septic tank being installed.

Where the shop / premises are designated or likely to be used for a food preparation shop / premises an inline grease trap must be installed prior to the sewer connection, for which the maintenance and cleaning will always remain the responsibility of the Owner.

A full layout plan of all waste and sewerage lines must be provided to the Etihad Town Management must indicate the position and construction of any grease trap, manhole, inspection unit, cleaning point and septic tank.

#### **4.16 Earthing Points**

Each commercial building shall have its own earthing point, located so as not to be damaged and made to the specification and good engineering practice which shall be checked periodically for its serviceability.

#### **4.17 Electric Transformer and Generator**

In buildings where a load of electricity would require installation of independent transformer, an appropriate space for substation shall be provided within the premises of the building and clearly marked on the drawings. Generators if installed, are to be placed on the roof.

#### **4.18 Sign Postings**

- a. Display of neon signs, advertisements shall be allowed at suitable places subject to the written approval of the Etihad Town Management.
- b. Fascia to fix sign boards / name boards should be provided at roof level of ground floor. Fixing arrangements should be made at the time of pouring of concrete.
- c. The fascia may be provided at the roof level on all floors extending 1'-6'' and 2'-0'' wide to fix the hoardings. No construction of any type / kind is allowed on this projection.
- d. Signage will only be approved following the payment of the prescribed fee.

#### **4.19 Air Conditioning**

- a. When the air-conditioning of the shop is envisaged, the exhaust arrangement through ducts shall be provided. Similarly the arrangements for drainage of moisture should be made so as to avoid wetting of the floor.
- b. The air-conditioning outdoor unit shall be installed on the rooftop of the commercial buildings. No distribution boards, AC units / components, steps or any other obstruction shall be made in the verandah / arcade which must remain clear at all times for public use.

#### **4.20 Facade of the Building**

Facade of the buildings shall be maintained by the Owner in good order and serviceability through periodical painting / distemping at all times for aesthetics / appearance.

#### **4.21 Chamfer of Multi Level building**

In multi-Level buildings a minimum chamfer of 6 ft. x 6 ft. shall be provided at the front corners of any corner building at ground floor.

#### **4.22 Subletting of Premises**

No Owner / shopkeeper shall sublet the premises or verandah / arcade / area in front of his building / shop to any vendor etc. under any circumstances. Noncompliance will entail heavy fines in accordance with the Prescribed Fees.

## **CHAPTER-5**

### **SPACE AND SAFETY REQUIREMENTS**

#### **5.1 Internal Building Requirements**

##### **5.1.1 Basement**

Where a basement is to be constructed, it shall be subject to the fulfillment of the following conditions that:-

- a. a basement shall be served with an independent entrance and in addition it shall have an emergency exit except for houses;
- b. the level of the main sewer permits gravity flow at a gradient of not less than 1:40 or if this may not be possible, pumping arrangement shall be installed;
- c. the sewer passing under the basement is gas tight;
- d. the minimum height of any basement room shall be 8 feet (2.44m).
- e. In case of residential/commercial, the minimum area of the basement shall be 100 Sqft and shall be constructed after leaving the mandatory open spaces required under these Regulations.
- f. basement in other buildings shall be as prescribed in chapter 3 & 4
- g. the foundations of the basement shall not intrude into the adjoining properties.

##### **5.1.2 Specifications**

###### **a. Residential Room**

- i. The minimum area of a room meant for human habitation shall be 100 sq ft (9.29sq m) having a minimum width of 8 ft. (2.44m).
- ii. The minimum floor area of a kitchen shall be 50 sq ft (4.65 sq m) having a minimum width of 6 ft (1.83 m).
- iii. The minimum height of any habitable room from finished floor level to the ceiling shall not be less than 9 ft 6in (2.89m).
- iv. Inter floor shall only be permitted in rooms other than those meant for habitation purposes, such as bath rooms, stores, kitchens, pantries, passage and garages etc., if combined with the main building.
- v. A minimum clear height of all the rooms referred in iv above shall be 7 ft 6 in (2.29m) and the inter floor shall have a minimum clear height of 5 ft 6 in (1.70 m).

###### **b. Shops**

- i. The minimum floor area of a shop shall be 100 sq ft (9.29 sq m) having a minimum floor width of 8 ft (2.44m).

- ii. Minimum height of any shop shall not be less than 9 ft-6 inches (2.9 m) without any gallery (storage space) or 15 ft 6 inches (4.73m) with gallery (storage space).
- iii. The minimum height of inter-floor or room shall conform with the prescribed height applicable to the buildings in which they are being provided, with the exception of shops where the height may be reduced to 7 ft (2.13 m) provided that:
  - The total area of any inter-floor or loft in anyshop shall not exceed space 1/3rd of the total area of the shop.
  - Every inter-floor or loft shall be open except a protection wall or railing not exceeding 3 feet (0.91 m) in height.
  - Minimum height of parapet wall shall be 2 ft-9 inches (0.84 m).

**c. Arcades**

- i. The minimum width of arcade in main Civic & Commercial centers shall be 10.ft.
- ii. The level between the arcade and shopping floor shall not exceed 1 ft-6 inches (0.46 m) whereas the level of arcade from the center of the road crest shall not exceed 6 inches (0.15 m).
- iii. Arcade (where specified) to be used as foot-path for pedestrians shall be constructed in front of shops throughout and no building obstruction of any kind shall be allowed within the arcade.

**5.1.3 Ramp & Toilet for Disabled Persons**

In all buildings other than residential buildings, a ramp of minimum 4 feet width and having maximum gradient of 1:6 should be provided for disable persons. In case of non-provisions of lifts in Multi-Storey Buildings each floor should be accessible through this ramp. A toilet for disabled must also be provided. Whereas no ramp is required on buildings on plot size less than 7 Marla.

**5.2 Internal Lighting and Ventilation Specifications**

**5.2.1 Size of External Openings**

Every room other than rooms used predominantly for the storage of goods shall, except where mechanical arrangement is provided, shall have a combined glazed area of not less than 8% of the floor space of such room, and 50% of such openings shall be capable of allowing free un-interrupted passage of air.

**5.2.2 Toilet, Water Closet and Bathrooms**

Every toilet, water closet, urinal stall and bath room shall be provided with day lighting and ventilation by means of one or more openings in external walls having a combined area of not less than 2 sq ft (0.19 sq m) per water closet, urinal stall or bath room and such openings shall be capable of allowing free un- interrupted passage of air.

**5.2.3 Internal Air Wells.**

- a. Kitchens, toilet, water closets and bath rooms may have sources of daylight and ventilation like room internal air wells. In such cases, air wells shall conform to the following minimum sizes:-
  - i. area of air well for building up to 2 storey in Building Height : minimum width of air well.
  - ii. Area of air well for building from 3 to 7 storey : 50 sq ft (4.65 sq m)6 ft (1.83 m). 100 sq

ft (9.29 sq m) minimum width of air well: 8ft (2.44 m)

**iii.** Area of air well for building with 8 storey & higher : 200 sq ft (18.59 sq m)

Minimum width of air well: 10 ft (3.05 m)

- a. The floor of each air well shall have impervious paving and shall be adequately drained.
- b. Reasonable access shall be provided at the bottom of each air well.
  
- c. No internal air well or portion thereof shall be roofed over, except with fiber glass or other similar material.

NOTE: Where permanent mechanical air-conditioning is intended to be provided; the Regulations dealing with the internal lighting of rooms will not be applicable

### **5.3 Fire Resistance and Fire Precautions**

#### **5.3.1 General**

A building or any structural part of a building, other than a single storey building shall have an adequate standard of fire resistance and shall be built of the following components:

- a. The external walls, all partition walls and the enclosing walls of stair-cases are of minimum of 9 inches (0.23 m) solid brick work or 3.1/2 inches (0.09 m)

reinforced concrete or 4 inches (0.1 m) solid concrete block;

- b. The floors and the roof are of minimum of 3.1/2 inches (0.09 m) of reinforced concrete.

### **5.3.2 Special Provisions**

- a. In order to ensure safety and security of the owners / residents/ visitors as well as those of the residential and commercial building etc. Every garage shall be constructed in fire resisting materials.
- b. Special provisions shall apply to places of assembly, stages in theatres and cinema projection rooms.

### **5.3.3 Fire Precautions in Air-conditioning System**

- a. Except in residential buildings, all air conditioning or ventilation ducts including framing, shall be constructed entirely of non-inflammable materials and shall be adequately supported throughout their length.
- b. Where ducts pass through floors or walls, the space around the duct shall be sealed with rope asbestos, mineral wool, or other non-inflammable material to prevent the passage of flames and smoke.
- c. The air intake of any air-conditioning apparatus shall be so situated that air does not re-circulate from any space in which objectionable quantities of inflammable vapors or dust are given off and shall be so situated as to minimize the drawing of inflammable material or other fire hazards.
- d. Where the duct systems serve two or more floors of a building or pass through walls, approved fire dampers with fusible links and access doors shall be located at the duct opening and such dampers shall be so arranged that the disruption of the duct will not cause failure to protect the opening.

### **5.3.4 Extinguishment of Fires**

Every new building except residential buildings up to 3 storey in height shall be provided with sufficient means for extinguishing fire as follows:-

- a. Fire Extinguisher Requirement
  - i. All buildings shall have one multipurpose (A, B, C) dry chemical powder 6 Kg fire extinguisher for each 2000 sq. ft. of floor area. At least two fire extinguishers of 6Kg each shall be placed on each floor (if floor size is less than 2000 sq. ft.).
  - ii. The maximum travel distance to a fire extinguisher shall not exceed 75 ft. but for kitchen areas this distance is 30 ft.
  - iii. Residential buildings will install smoke detectors in all habitable rooms.
- b. Firefighting buckets
- c. An independent water supply system in pipes of steel or cast iron with adequate hydrants, pumps and hose reels.

- d. All multi-storey buildings having four to ten floors shall have a pressurized internal fire hydrant system with an independent over-head water tank of minimum 7500 gallons and external under-ground water tank of 15000 gallons. The external underground water tank shall be accessible to the fire- fighting vehicles at all times.
- e. Internal fire hydrant system
  - i. The pressurized internal fire hydrant system shall be independent and separate from the normal water supply system and shall be maintained at 3-5 bar pressure at all floors through an electric pump of suitable capacity for firefighting, which remains operational even if the power supply of main building is shut off.
  - ii. The hydrant system shall have two compatible standard inlets at ground level for connecting with the emergency fire vehicles.
  - iii. The pressurized internal fire hydrant system shall have a water hydrant outlet (with shut off valve and pressure gauge) connected to a 1.5-inch x 100 ft. fire hose stored in a metallic hose cabinet at or near an emergency staircase.
  - iv. All firefighting pumps shall be placed in such a manner that their base is at least two ft below the bottom of the water tank.
- f. External fire hydrant
  - i. For external fire hydrants all buildings shall have engine operated standby external fire-fighting pump connected to an adequate water source and supplying water to an external pipeline serving to external fire hydrants.
  - ii. The external fire hydrant shall be located at least six ft. away and not more than 50 ft. from the building. The distance between any two hydrants shall not exceed more than 100 ft.
- g. Separate fire exit stairs.
- h. Fire Alarm System

A separate fire alarm system for each floor should be designed according to the sizes of rooms and other amenities.

- i. First Aid Box.
- j. Smoke masks
- k. Breathing apparatus
- l. A plan showing the firefighting provisions in the building shall be displayed at the site.

### **5.3.5 Fire Drills**

Necessary directions shall be issued to the occupants/owner of the multi- storey buildings and buildings of public assembly to hold/arrange firefighting drills at frequent intervals but at least once a year in consultation with the firefighting department of the City District Government.

NOTE: All firefighting arrangements shall comply with the requirements as provided under Rule 9 of Civil Defense (Special Powers) Rules 1951.

**5.3.6 The recommendations of fire safety commission regarding following components shall be fulfilled:-**

- i. Fire Door
- ii. Hydrant System
- iii. Installation of Fire Extinguishers
- iv. Fire Alarm System
- v. Clear access and removal of obstructions.
- vi. Evacuation plan and emergency lighting system.
- vii. Emergency response team.
- viii. Water Pump
- ix. Smoke Detectors

**5.4 Emergency Exit Specifications**

**5.4.1 Means of escape in case of emergency**

- a. All means of escape from a building including extra corridors, stairs etc. shall permit unobstructed access to a street or to an open space or to an adjoining building or roof from where access to the street may be obtained.
- b. All buildings shall have windows on the street elevation within convenient reach and of adequate size to enable persons to escape in case of emergency.
- c. Every block of Apartment Buildings having more than 6 (six) Apartments at each floor shall be served with an additional stair-case.
- d. In a block of Apartment Buildings emergency stair-cases shall be provided in addition to the main stair-case/stair-cases.
- e. An emergency stair-case shall be sited at such a position that it should be accessible to all the Apartments without any hindrance or obstruction and it should be open to a permanently ventilated space.
- f. Every multi-storey building should be provided with emergency staircase(s) as the case may be in addition to the main staircase(s) in the following manner

For buildings on plots of less than 4 kanal	emergency staircase	
For buildings on plots of 4 kanal & above	emergency staircases	Located at two ends of floor

- g. The staircase shall be separated from the main building by two fire doors, opening outwards. The fire door shall be hinge type with clear width of at

least 3 ft. and minimum one hour fire resistant rating.

- h. The staircase(s) shall have an accessible window or opening towards the road with adequate size (minimum 2.5 ft. x 3 ft.) to enable evacuation of persons in case of an emergency.
- i. The staircase(s) route shall be adequately illuminated at all times and free from all obstructions.
- j. Each staircase(s) shall be clearly marked by a sign "EXIT" in plainly legible letters not less than 6 inches higher.

### **5.5 Fire Protection System**

As per provisions of Building code of Pakistan 2016, automatic sprinkler system shall be installed and maintained in full operating condition in the following building:

#### 1. Assembly Occupancy

Assembly occupancies with festival seating where the occupant load exceeds 300 shall be protected throughout by automatic sprinkler system.

#### 2. Education Occupancies

Educational occupancies exceeding covered area 12000 ft.<sup>2</sup> and more than two stories in height, shall be protected throughout by automatic sprinkler system.

#### 3. Health Care Occupancies

The Building containing health care occupancies, having more than 50 beds or high rise building shall be protected throughout by automatic sprinkler system.

#### 4. Hostel and Dormitories

All buildings exceeding 12000 ft.<sup>2</sup> and more than two stories in height shall be protected throughout by an automatic sprinkler system.

#### 5. Apartment Building

All buildings exceeding 12000 ft.<sup>2</sup> and more than four stories in height shall be protected throughout by an automatic sprinkler system.

### **5.6 Utility Services Specifications**

#### **5.6.1 Water Supply**

- a. An overhead tank and underground water tank must be provided in each building.
- b. The provision of ground water tank is mandatory. Underground / overhead water tank to be provided in all buildings as per the minimum sizes provided below:

### UNDER GROUND WATER TANK

PLOT SIZE UPTO 3 STOREY	LENGTH	WIDTH	HEIGHT	CUBIC FEET	GALLON
5-Marla	3-ft (0.91m)	3-ft. (0.91m)	2-ft (0.61m)	18 cu.ft (0.51 cu.M)	--
Upto 7 Marla	6'-0"	4'-0"	2'-6"	60 Cft	400
7 Marla to 1 Kanal	10'-0"	5'-0"	2'-6"	124 Cft	800
Above 1 Kanal	10'-0"	5'-0"	4'-0"	200 Cft	1200
Multi Storey 4to 10 storey	30'-0"	10'-0"	8'-0"	2400 Cft	15000
Above 10 storey	30'-0"	20'-0"	8'-0"	4800 Cft	30000

- c. The design of internal water supply network, underground and overhead tanks shall be in accordance with NRM standards /WASA or Public Health Engineering Department requirements.

### OVERHEAD WATER TANK

PLOT SIZE UPTO	WIDTH	LENGTH	HEIGHT	CUBIC FEET	GALLON
Upto 7 Marla	3'-0"	4'-0"	2'-6"	30 Cft	200
7 Marla to 1 Kanal	5'-0"	5'-0"	2'-6"	62 Cft	400
Above 1 Kanal	5'-0"	5'-0"	4'-0"	100 Cft	600
Multi Storey 4 to 10 storey	15'-0"	10'-0"	8'-0"	1200 Cft	7500
Above 10 storey	20'-0"	15'-0"	8'-0"	2400 Cft	15000

- d. The capacity of the water tanks for multi-storey buildings shall be as per the Building Code of Pakistan/NRM, in accordance with size, Building Height and use of the building

#### 5.6.2 Drainage

- a. All, drainage and sanitary installations shall be carried out in accordance with the requirements of WASA/ Municipal /Public Health Engineering Department for drainage, plumbing and sanitary fitting.
- b. Where there is a public sewer, all sewer laid in the building shall be connected thereto.

- c. Where no public sewer is in existence, all sewage shall be connected to Septic Tank and then to a Soakage Pit. Septic Tanks and Soakage Pits shall:-
  - i. be so constructed as to be impervious to liquid either from the outside area or inside;
  - ii. be so sited as not to discharge pollution into any spring, stream or water-course or any well, the water from which is used for drinking or domestic purposes.
- d. Septic Tanks shall be provided in all the residential and commercial buildings. All the sullage water of the buildings shall be connected to the septic tank and then to the public sewer.
- e. The minimum sizes of septic tanks for residential plots will be as follows:

Plot Sizes	Depth	Length	Width
Less than 1Kanal	4 ft-3inches (1.29m)	8 ft (2.44m)	4 ft (1.22m)
1-Kanal to 2 Kanal	4 ft-3in (1.29m)	9 ft (2.74m)	4 ft-6inches (1.37m)
Above 2-Kanal	4 ft-3inches (1.29m)	10 ft (3.05m)	5 ft (1.52m)

- f. Size of septic tanks for commercial and public buildings shall be as per requirements of WASA/Public Health Department.
- g. The roof of every building and floor of balcony abutting a street or constructed over street shall be drained by means of down take pipes.

### **5.6.3 Sanitation**

#### **a. Houses and Apartments**

- i. Every dwelling or an independent residential unit shall have at least one water closet and one bathroom.

For houses and apartments with more than 3 bed rooms, the provision of water closets and bathrooms will be appropriately increased according to Building Code of Pakistan /NRM.

- b. **Buildings**, other than houses and Apartments: shall be provided with sanitary facilities appropriate to their use and occupancy according to NRM/ Building Code of Pakistan.

### **5.6.4 Solid Waste Management**

- a. All buildings other than houses shall provide adequate storage space for storing solid waste equal to at least 24 hours of generation.

### 5.6.5 Electricity

In all buildings where a load of electricity would require installation of independent transformer/sub-station, appropriate space, location and access for the transformer room/substation shall be provided within the premises as may be determined by WAPDA or other electrical/power companies.

### 5.6.6 Rain Water Harvesting

- a) All buildings to be constructed in future, in Lahore, should have provision, for roof top, rainwater harvesting commensurate with its plinth area.
- b) Captured rain water may be utilized for all purposes other than drinking purpose.
- c) Rain water harvesting shall be geared towards reuse and storage of rain water and it shall be ensured that underground aquifers are not polluted in the process.

#### d) Residential Buildings

##### i) **Storage Tank Capacities for Rain Water Harvesting \for Houses**

For each and every house having area 05-Marlas or above provision of Rain Water Harvesting system is mandatory. Every house is required to construct a storage tank of capacity, as described below, above the ground level:

Sr. No.	Size of Plot	Capacity of Storage Tanks (Gallons)
1.	05-6.9 Marla	300
2.	7.0-09-Marla	450
3.	10-Marla	500
4.	10.1-15-Marla	600
5.	15.1-marla-less than 1-kanal	800
6.	1-Kanal	1000
7.	1.1-Kanal-2-Kanal	1700
8.	2.1-Kanal-3-Kanal	2500
9.	3.1-Kanal-4-Kanal	3400
10.	4.1-Kanal-5-Kanal	4000
11.	5.1-Kanal-6-Kanal	5000
12.	6.1-Kanal-7-Kanal	6000
13.	7.1-Kanal-8-Kanal	6800

**ii. Connections of Roof Drain Pipe with the sewerage System or to the Street.**

No downspout or roof drain pipe capturing the rain water of the residential building shall be directly connected with the sewerage system or to the street/right of ways.

**For the houses** under 15-marlas overflow arrangement from the rain harvesting tank will be provided connected to the sewerage system or to the street/right of ways.

**For buildings** 15-marlas and above no over flow from rain water harvesting tank is allowed to connect sewerage system or to the street/right of ways and will be diverted to landscapes, natural areas and to the ground water recharge bores/wells

**iii. Rain Water Harvesting from Houses (15-marlas & above for Recharge of aquifer).**

For each and every house having area 15-marlas or above provision of recharge well/recharge pit is mandatory. Every house is required to construct a recharge well/recharge pit. A Typical diagram is attached as **Annex-H**.

**e) Public Buildings**

No downspout or roof drain pipe capturing the rain water from any public buildings, commercial plazas, community centers, factories/industrial units, etc. shall be directly connected with sewerage system or to the street/right of ways. Rooftop rainwater captured will be diverted to landscapes, natural areas and to the ground water recharge bores/wells.

**f) Inspection of the Rainwater Harvesting System**

LDA and WASA reserves the right to periodically inspect Rainwater Harvesting System of any public or private building to verify that regular maintenance activities are being performed adequately.

**5.7 Floor Height**

Minimum height of parking floors shall not be less than 8 ft (2.44m).

**5.7.1 Parking Geometry**

Configuration of parking spaces and drive way etc. shall conform to the following minimum standards:

Components	M/Car	M/Cycle
Stall width	8ft (2.44m)	2ft-6 in (0.76m)
Stall length	16ft (4.88m)	6ft(1.83m)
Turning radius (measured from middle of two way ramp or outer curve of one way ramp)	20ft (6.1m)	6ft (1.83m)
Lot turning radius	17.5ft (5.33m)	

Approach ramp width/driving lane One way Two way	10ft (3.05m) 18ft (5.49m)	3ft (0.91m) 6ft (1.83m)
Width of approach ramp would increase at the turns allowing for turning radius of 20ft.		
Gradient of Ramp	1:10	1:10
The ramp slopes may be increased to maximum 1:5 provided that for slopes over 1:10, a transition at least 8ft (2.44m) long is provided at each end of the ramp at one half the gradient of the ramp itself as shown in figures -5.1& 5.2.		
Aisle width (minimum) One way - 90 degree stall - Less than 90 degree stall	16ft (4.88m) 14ft (4.27m)	6ft (1.83m) 6ft (1.83m)
Two way	18ft (5.49m)	6ft (1.83m)

### **5.7.2 Ventilation & fire protection in parking area**

Adequate means of ventilation, fire protection and emergency exits shall be provided in the parking areas.

### **5.7.3 Lighting Arrangement**

All parking areas must be properly lit for clear visibility and safety.

### **5.7.4 Basement, Ramp, Parking**

- a. The lower ground floor/basement if used for car parking purposes shall be constructed after leaving 4ft (1.22 m) space all around within the plot. This would apply in the case where basement is provided without piling. Ramp may be provided in the mandatory open spaces in the basements subject to the condition that it shall not obstruct these spaces on ground level. The owner will have to surrender the setback area for road widening in future if needed without any compensation.
- b. For the construction of basement the entire plot area can be covered subject to the provision of RCC piling along all four sides of the plot. The owner will have to surrender the setback area for road widening in future if needed without any compensation.
- c. No ramp is allowed inside and rear spaces at ground level if these spaces are not abutting a road.
- d. However the level of the roof of the basement in the mandatory open spaces required to be provided under these Regulations shall not exceed 6 inches above the crown of the road.
- e. The lower ground floor/basement if used for usable purposes other than car parking shall be constructed after leaving all the mandatory open spaces as required under these Regulations.

- f. No Ramp shall start within 10ft clear space from the plot line for entry and exit purposes. Such ramp should have a maximum slope of 1:5, with transition slopes minimum 8ft long and maximum 1:10 gradient at both ends. (see **fig. 5.1**)
- g. Where entry/exit to the basement is from the rear mandatory open space, a minimum chamfer of 6x6 ft shall be provided at the rear two corners of the building at the ground floor level (see **fig. 5.2**).
- h. In case, a commercial building is proposed to be used for multi-purposes like hotel, banquet hall or apartments etc. the parking requirements for these uses shall be calculated separately on the basis of proposed uses as per these Regulations.
- i. In the parking basement non-usable areas such as generator room/water tanks/pumping stations/engineering services/transformer may be permitted subject to the condition that the area does not increase 10% of the particular floor area with proper enclosure.
- j. The rooms for security/emergency staff may also be permitted in parking basement which will not create any hindrance in parking.
- k. In case of provision of parking in basement, the parking space should be provided for both Motor Bikes and Motor Cars. Parking Basement only for Motor Bikes will not be approved.
- l. The mechanical parking is allowed subject to the circulation that it shall not constitute more than 40% of the total car parking space required for the building. The remaining 60% parking must be provided in conventional manner.

**5.7.5 Signage**

- a. The building plans should clearly show entry, exits, gradient of ramp, turning radius, storage spaces, circulation and movement of vehicles etc.
- b. Proper parking signage such as entry and exit, directional arrows and road marking must be provided.

**5.8 Tree Planation**

- a. Proposed building plan will also ensure the space for tree plantation as per the plot size given below

No partition walls shall be constructed in parking areas.

Plot Size (Category)	No. of Trees
5 Marla and Less than 10 Marla	1
10 Marla and less than 1 Kanal	2
1 Kanal and less than 2 Kanal	3
2 Kanal and above	4

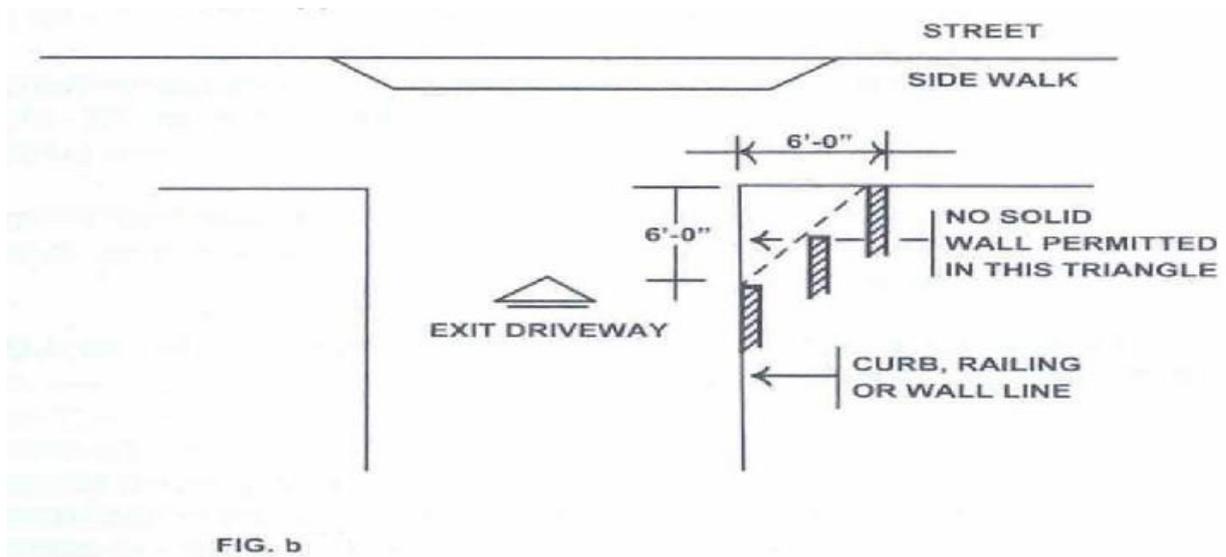


Fig-5.1 Ramp

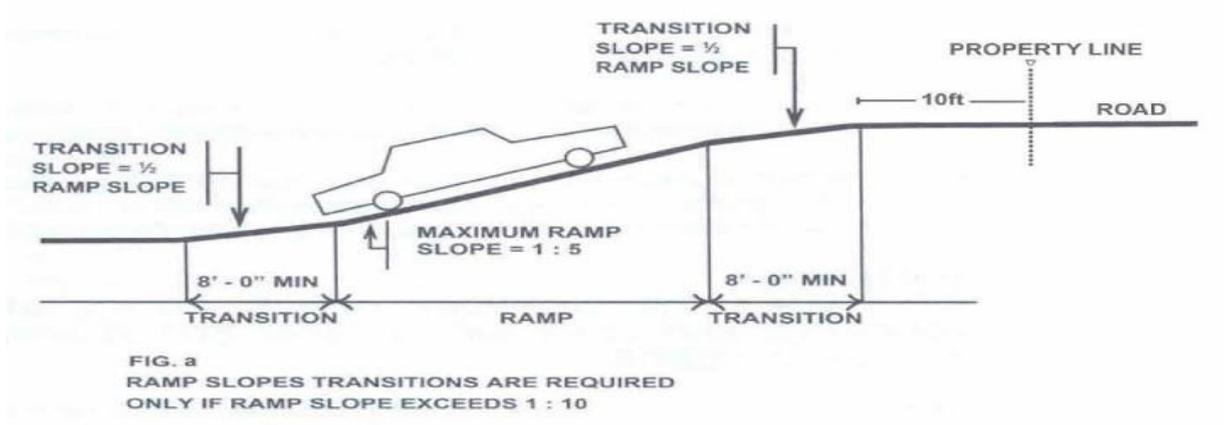


FIG. a  
 RAMP SLOPES TRANSITIONS ARE REQUIRED  
 ONLY IF RAMP SLOPE EXCEEDS 1 : 10

Fig-5.2 Chamfering at Driveway

## **CHAPTER 6**

### **SAFETY AND SECURITY MEASURES DURING / AFTER CONSTRUCTION & MISCELLANEOUS REGULATIONS**

#### **General**

Owners are expected to take adequate safety and security measure during and after construction to preserve the infrastructure layout of Etihad Town. Violations of building bye-laws shall make the Owner liable to imposition of penalties as may be imposed under the LDA Building Regulations and / or as directed by the Etihad Town Management from time to time.

#### **1. Spoiling of Roads**

Trucks / trolleys carrying materials to or from the respective plot spoil the roads with mud / slush sticking to their tyres. The Owners/ contractors shall ensure that the tyres are properly washed before coming on the roads. All trucks and trolleys should be properly covered with tarpaulin cover. Non adherence may entail fines as decided by the Management. Uncovered and Over loaded trucks and trolleys will not be allowed to enter the Etihad Town.

#### **2. Blocking of Roads**

Blocking of roads / berms for placing of construction materials or for any other purpose is strictly forbidden. Defaulters shall be fined by the Etihad Town Management.

#### **3. Damage to Roads and Services**

In case of any damage to society services and roads caused due to shifting of materials, straightening of steel bars, mixing of mortar or any other reason by the contractor, the Owner shall pay full compensation for the restoration of such damages besides any punitive action that may be taken as deemed appropriate by the Etihad Town Management.

#### **4. Marking of Excavation**

The Owner making any excavation especially for the basement shall at their own expenses cause sufficient and adequate barriers and flash lights to be fixed upon or near the same. This shall continue during day time and to provide such lights every night from sunset while such activities or excavation remains in progress. In addition, red flags shall be installed during day time for safety measures.

#### **5. Safety and Stability of Structure**

The Owners are advised to use sound building material which shall be of good quality and properly put together so as to ensure safety and stability of the building.

#### **6. Safety of Workers**

The Owners shall ensure that all safety measures are adopted especially where work is done above ground level, on the sloping surface or a roof and erect temporary shuttering works / barriers to prevent accidents and for safety of the persons / labour employed on the construction site.

#### **7. Damage to Neighboring Properties**

The Owners must exercise utmost care and take all precautions during construction of their house / commercial buildings to avoid any damage to the neighboring houses / commercial buildings. In case of any damage, the Owner or his representative / contractor, shall make good such loss to the entire satisfaction of the neighbor.

## **8. Dangerous Obstructions**

Owners are not allowed to stack materials or excavate earth or erect sign boards / hoardings in front or in the rear of any building / street. Any Owner who is in violation of these instructions shall be fined heavily by the Etihad Town Management.

## **9. Dangerous Excavation**

No excavation or earthwork or demolition of an existing building That is likely to affect the stability of any neighboring building shall be started or continued unless adequate steps are taken before or during the work to prevent any damage or sudden collapse of any adjacent building or any part of the building.

Prior to the commencement of such work(s) a detailed Scope of work(s) must be lodged with Etihad Town Management.

Defaulter shall be liable for payment of full compensation for the damages caused to the adjacent properties due to any excavation, digging and construction of the basement and the building.

## **10. Precautions during Excavation / Construction**

The Owner shall take following additional precautions during excavation / construction of basement:-

- a. Vertical edges of excavated pits for construction of basement should be properly secured by revetment steel shuttering, wooden planks. Etc. to safeguard against the collapse of loose earth / rain effects.
- b. While excavating, utmost care shall be exercised to avoid any damage to the existing buildings, life and properties on all sides of the excavated area.
- c. A systematic plan for excavation and handling / disposal of excavated earth shall be provided to Etihad Town Management prior to the commencement of work.

## **11. Concrete Mixing at Site**

Concrete pre-mix will be made available from the nearby batching plant for the construction of buildings. The quality of the pre-mix shall be maintained to the best possible standards and delivered to construction sites using dumpers / transit mixers. Such pre-mix shall be provided at market competitive rates.

## **12. Cutting of Road**

The Owners are not allowed to cut the road for any purpose. Defaulters shall be fined besides bearing the expenditure incurred on such repairs.

## **13. Theft and Misuse of Utility Services**

Services available for connection to the Plot will be used solely and exclusively for the use of the building constructed on the Plot. Services that are not correctly used will be disconnected and the Owner will be liable for the payment of a fine as decided by the Etihad Town Management. Installation of pumps-or gadgets for sucking water from the society mains is strictly forbidden. The motor / pump so installed shall be confiscated with a fine as decided by the Etihad Town Management.

## **14. Site Clearance**

All obstructions, temporary construction and waste material of any kind shall be removed regularly from the Plot and within 7 days of completion of the work. Non-compliance may entail fine and withholding of completion certificate.

## **15. Driving Discipline**

- a. Owners / contractors / supplier are expected to obey the driving discipline and Bye-laws of Etihad Town. They are also bound to follow the road side instructions and traffic signs / boards displayed to regulate the flow of traffic in the society.
- b. Individuals without valid driving licenses MUST not drive any motorized vehicle.

## **16. Overhead Cables**

No Owner shall install any overhead or external wiring / cable and installations.

## **17. Penalties on Construction Violations**

All the violations shall be removed at the risk and cost of the Owner; Etihad Town Management has no regularization policy for any of the violations.

## **18. Construction Timings for the Labour**

- a. Winter. 8:00 am to Sunset.
- b. Summer. 7:00 am to Sunset.

### **Note:**

- I. It is the entire responsibility of the Owner for the security of all the labour allowed inside the society. Any damages, violations shall be recovered from the Owner.
- II. Employment of a chowkidar in under construction building is mandatory.
- III. Night stay of labour at construction site is strictly forbidden.

## **19. Advertisement Signboards**

- a. No commercial signboards are permitted in front of the residential building or the green belt.
- b. Only name plates are allowed to be displayed in front of the residential buildings.

## **20. Wall Chalking**

Wall chalking and pasting of posters on buildings, wall and public places is strictly forbidden. Violators shall be fined by Etihad Town Management including cleaning / restoring the original cleanliness state of the building.

## **21. Restrictions Affecting use of the Premises**

The Owners shall abstain at all times from violating these Regulations and undertake:

- a. Not to erect or install in the premises any engines, furnace, plant or machinery which causes noise, fumes or vibration which can be heard smelled or felt outside the premises.
- b. Not to store in the premises any petrol or other especially flammable explosives or combustible substances.
- c. Not to use the premises for any noxious, noisy or offensive trade or business or for any illegal or immoral act or purpose.
- d. Not to hold in or on the premises any exhibition or public meeting.
- e. Not to do anything on the premises which may be a nuisance, disturbance, annoyance, inconvenience or damage to the adjoining and neighboring premises or the Society as a whole.
- f. Not to permit the drains to be obstructed by oil, grease or other deleterious matter, but to keep thoroughly cleaned the premises and the drains serving the premises as often as necessary.
- g. To observe and perform or cause to be observed and performed the rules, regulations Bye-laws made from time to time by Etihad Town Management.
- h. Not to indulge in any immoral or illegal activities within the premises or within the premises or within the society causing or effecting the moral fabric of the community living as a whole.

**22. Service charges, Penalties and various Notifications**

The rates of all charges, fees and penalties provided herein these Etihad Town Building Bye-Laws or any other rule, regulation or instruction, may be amended, increased or decreased at the discretion of Etihad Town Management through amendment in the Regulations or separate notices in this regard which shall be deemed to be part of these regulations.

**23. Notices / Notification**

Any Notice or Notification required to be given herein this Regulation or for any other obligation of Etihad Town Management, shall be properly received by the Owner or occupant of the house by signing the register presented by the person delivering the notice. Refusal or inaction to receive such notice shall be deemed to have been received by the Owner.

**ANNEX-'A'**

**ACKNOWLEDGEMENT**

**(For receiving Etihad Town Building Bye-Laws)**

I, Mr. /Ms. / Mrs. \_\_\_\_\_ Owner of Plot No. \_\_\_\_\_  
Block \_\_\_\_\_ Type \_\_\_\_\_ Etihad Town, Lahore have received a copy of Etihad Town  
Building Bye-Laws issued by the Management office Lahore.

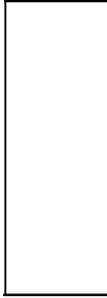
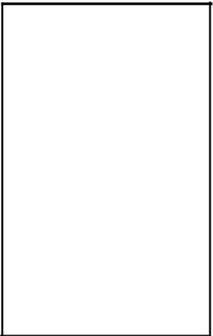
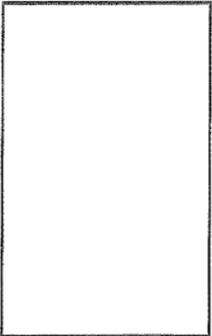
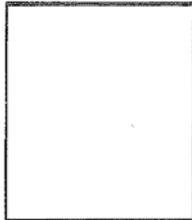
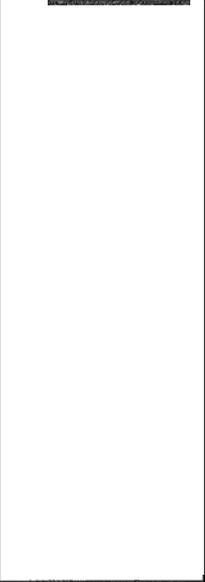
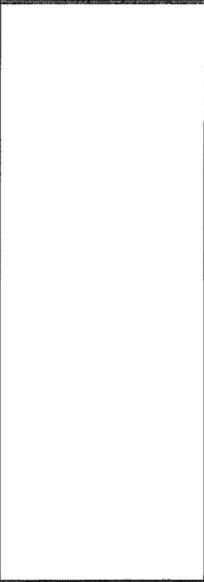
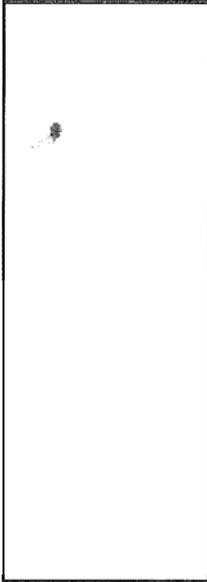
I undertake to read it carefully and will abide by all the Bye-Laws in its entirety. I hereby undertake to Co-operate with  
the Management of Etihad Town Lahore in all matters / manners.

\_\_\_\_\_  
(Owner's Signatures)

Dated: \_\_\_\_\_

**ANNEX-'B'**

**SPECIMENT – SUBMISSION DRAWING**

					
<u>LINTELS DETAIL</u> SCALE 1" = 2"	<u>R.C.C. BEAMS DETAIL</u> SCALE 1" = 2"	<u>WALL FOUNDATION</u> SCALE 1" = 2"	<u>SEC. / U.G. W. TANK</u> SCALE 1" = 4"	<u>SEC. / SEPTIC TANK</u> SCALE 1" = 4"	
					<u>SCHEDULE OF AREAS</u>
<u>FRONT ELEVATION</u> SCALE 1" = 8"	<u>SECTION</u> SCALE 1" = 8"	<u>RAMP &amp; BOUNDARY WALL SEC. DETAIL</u> SCALE 1" = 4"	<u>SECTION OF O.H.W. TANK</u> SCALE 1" = 4"		<u>NORTH LOCATION</u> 
					<u>TITLE SUBMISSION DRAWING</u>
<u>BASEMENT PLAN</u> SCALE 1" = 8"	<u>GROUND FLOOR PLAN</u> SCALE 1" = 8"	<u>FIRST FLOOR PLAN</u> SCALE 1" = 8"	<u>SITE PLAN</u> SCALE 1" = 15'		<u>PROJECT</u> PROPOSED RESIDENCE ON PLOT NO ..... SECTOR BLOCK ETHHAD TOWN RAIWIING ROAD LAJORE
					<u>OWNER'S NAME &amp; SIGNATURE</u>
					<u>ARCHITECT'S SIGNATURE &amp; STAMP</u>

SUBMISSION DRAWING SPECIMEN

**ANNEX 'C'**

**UNDERTAKING**

Plot No: \_\_\_\_\_

Block: \_\_\_\_\_

Name: \_\_\_\_\_ S/D/W \_\_\_\_\_,

holder of CNIC no. \_\_\_\_\_, Resident of \_\_\_\_\_ does

hereby declare and confirm as follows:

**DECLARATION & COMMITMENTS BY THE OWNER**

**It is certified that:-**

1. I have read and understood the construction Bye-laws and rules of Etihad Town, Lahore and shall strictly abide by all these laws.
2. I shall carry out the construction strictly according to the drawings approved by the LDA for construction. I shall not do any addition /alteration prior to approval of the revised building plan from the concern authorities.
3. I shall not create any passage / opening in the boundary wall constructed by the Etihad Town, Lahore. In the event of doing so, I will be liable to penalty as decide by Etihad Town Management apart from disconnection of electricity, water and sewerage facilities.
4. I shall get the following checked progressively and shall obtain signature from the Etihad town's Inspector at every stage of construction. Work shall not be proceeding further until signature of inspector are not obtained on the previously completed stage of construction. Date of intimation to Etihad Town and checking by the Inspector will be recorded in the file.
  - a) On completion of Septic tank and temporary toilet
  - b) After Layout marking / before start of construction
  - c) On completion of Basement Excavation (if basement designed)
  - d) Before Concreting of Basement Wall
  - e) Before Concreting of Basement Roof
  - f) On completion of foundation of Building and Boundary wall up to DPC Level
  - g) On completion of Masonry work on Ground floor up to 07 ft.
  - h) Before Steel reinforcement / Concreting of Ground Floor Roof
  - i) On completion of Masonry work up to 07 ft. of First Floor
  - j) Before Steel reinforcement / Concreting of First Floor
  - k) On completion of Masonry work up to 07 ft. of Second Floor
  - l) Before Steel reinforcement / Concreting of Second Floor
  - m) Before construction of Mumty
  - n) Before completion of Mumty roof
  - o) On completion of Overhead & Underground water tanks and gate
  - p) On completion of Masonry walls on three sides of overhead water tank (for plastic tank only)
5. I understand that I shall not be absolved from taking remedial measures including punitive action even if certain point is omitted / overlooked during check / scrutiny by Etihad Town staff. I shall promptly comply with the decision of Etihad Town Management.
6. On completion of building, I shall apply for opening the sewerage connection before occupying the building and not open it myself, failing which I am liable to a fine as decided by Etihad Town Management.
7. I shall not cut the road for any purpose.
8. I shall not dump construction materials like bricks, sand, steel bars, cement and concrete on road / berm area. I shall only use allotted vacant plot or front open mandatory space of my own plot for stacking of construction material and construction of temporary room / latrine.

- 9.** During construction I shall ensure that trees planted in front of my plot are not damaged. In case of damage to the plant / tree, I shall be liable to fine as decided by Etihad Town Management.
- 10.** I shall not stock earth outside the boundary wall higher than road berms. Instead, the earth shall be properly finished to grades as advised by the Etihad Town staff.

11. I shall complete the house within 36 months from the date of taking over the possession of plot / possession announcement (whichever is earlier). I understand that failure to complete the construction within stipulated time shall render me liable to fine as decided by Etihad Town Management per day for period beyond the time limit of 36 months.
12. I shall not erect fence / hedge / thick vegetation on area between road berms and boundary wall of the building / house. After the construction, I shall ensure that space in front of my building / house shall be maintained as green patch as required.
13. I shall install electric meter on the pillar of main entrance gate as directed by the Etihad Town Staff.
14. I shall not construct a room on top of the car porch, unless plot size is below 10 Marlas.
15. Having completed the construction of the building / house. I shall apply for Completion Certificate to LDA through Etihad Town Management office.
16. I will not occupy the building unless completion certificate is issued by the Authority or written permission of the Authority is obtained, failing which I shall be liable to a fine as decided by Etihad Town Management.
17. I shall obtain the security passes for the contractor / labors, employed for construction of my building From Administration Branch failing which, I shall not be allowed to start construction.
18. In case of failure or refusal to abide by Etihad Town's rules / regulations, the Management may take one / combination of the following punitive actions:-
  - a) Disconnect services like water supply, sewerage etc.
  - b) Impose penalties / fines as per gravity of the violation.
  - c) Stopping of work / illegal construction at my entire risk and cost, so as to bring the construction within Authorized limits as per the Etihad Town's Bye-laws.
19. In case of any violation of LDA / Etihad Town Bye-laws the unresolved liability shall be cleared by the original Owner before selling the house / shops and a certificate of clearance s obtained from Etihad Town Management.
20. I undertake to pay damages or make good if any damage is caused to life or limb of any person, adjoining properties or horticulture and trees, Gas lines, Telecommunication lines (Fiber Optic etc.) Electricity Supply system etc. During the course of excavation for foundation or basements and construction of the building. I also undertake to completely indemnify the **"Etihad Town (Pvt.) Ltd."** And its employees in case of any such eventuality as mentioned above.

**For Commercial Area Only**

21. I shall not cause any damage to the paved area between the road and property line. I shall also make a drain with grating of approved pattern to carry rain water as directed by Etihad Town Management.

**Signature of the Owner**

**Witness no. 1** \_\_\_\_\_

**Witness No. 2** \_\_\_\_\_

Signature \_\_\_\_\_

Signature: \_\_\_\_\_

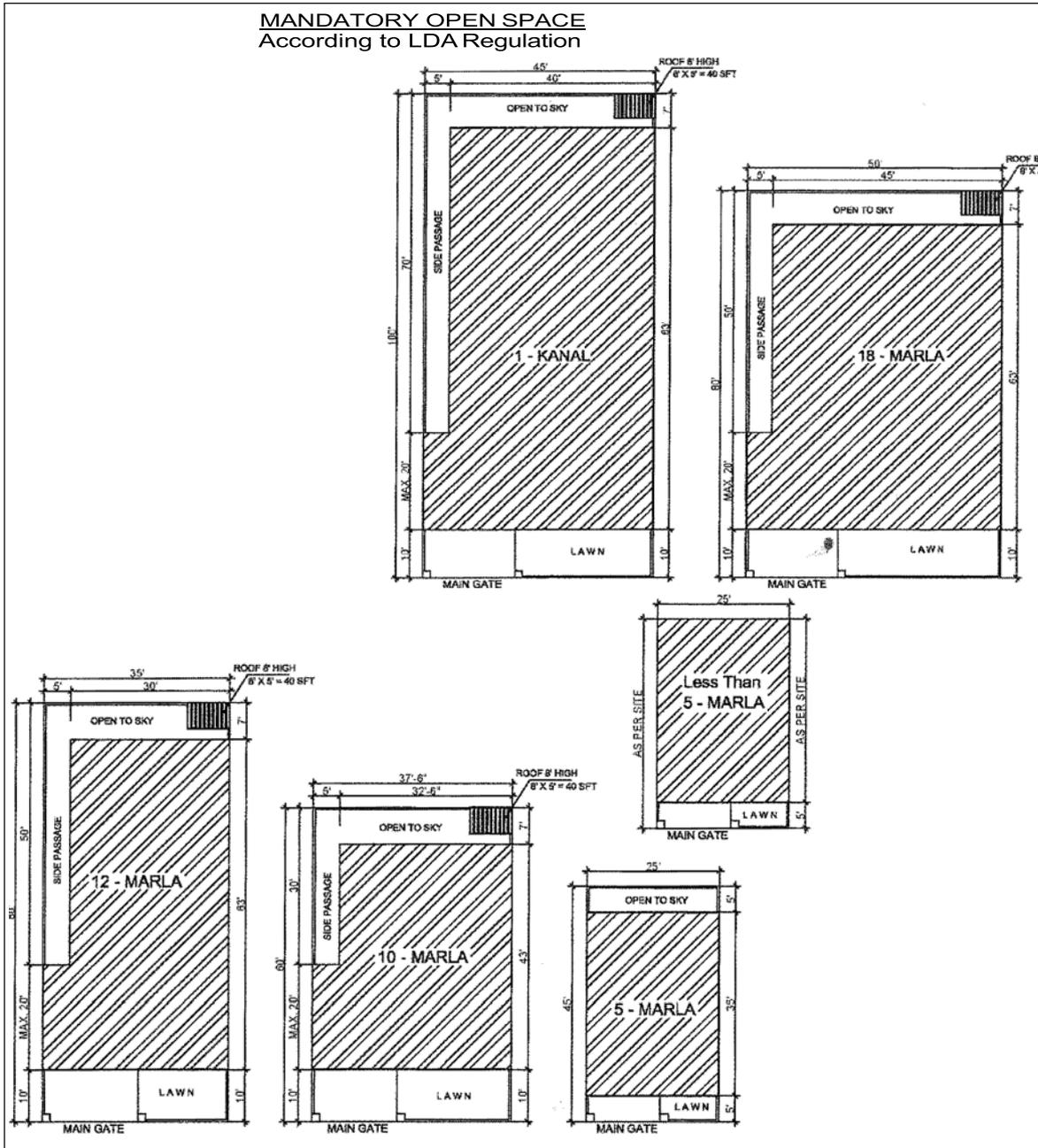
Address \_\_\_\_\_

Address: \_\_\_\_\_

**Attested by Oath Commissioner**

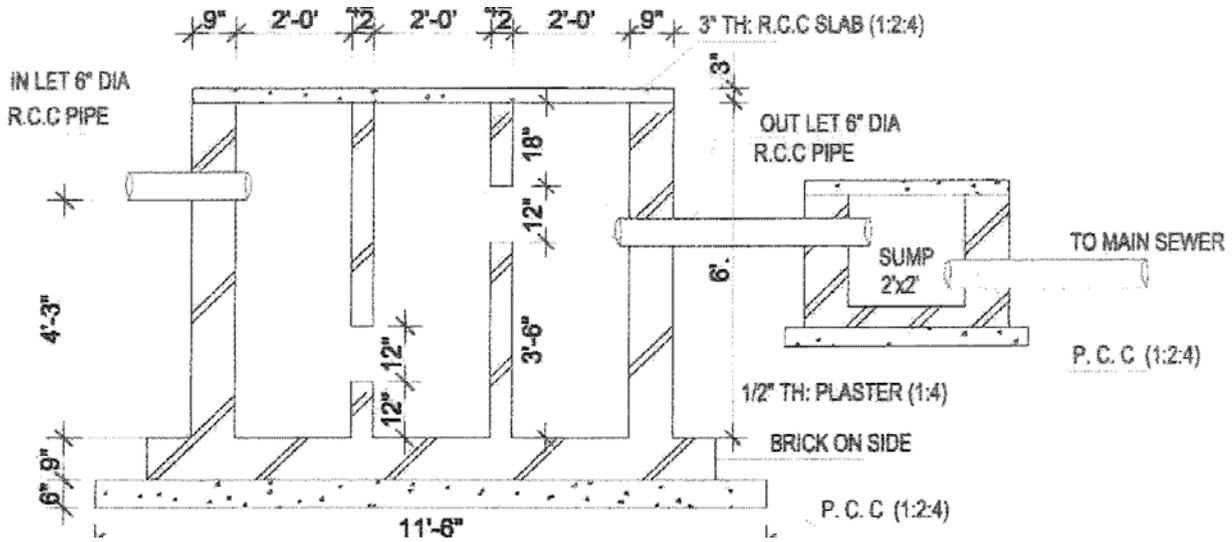
**ANNEX ' D'**

**COVERED AREA INCLUDING CAR PORCH AND MANDATORY CLEAR SPACES**



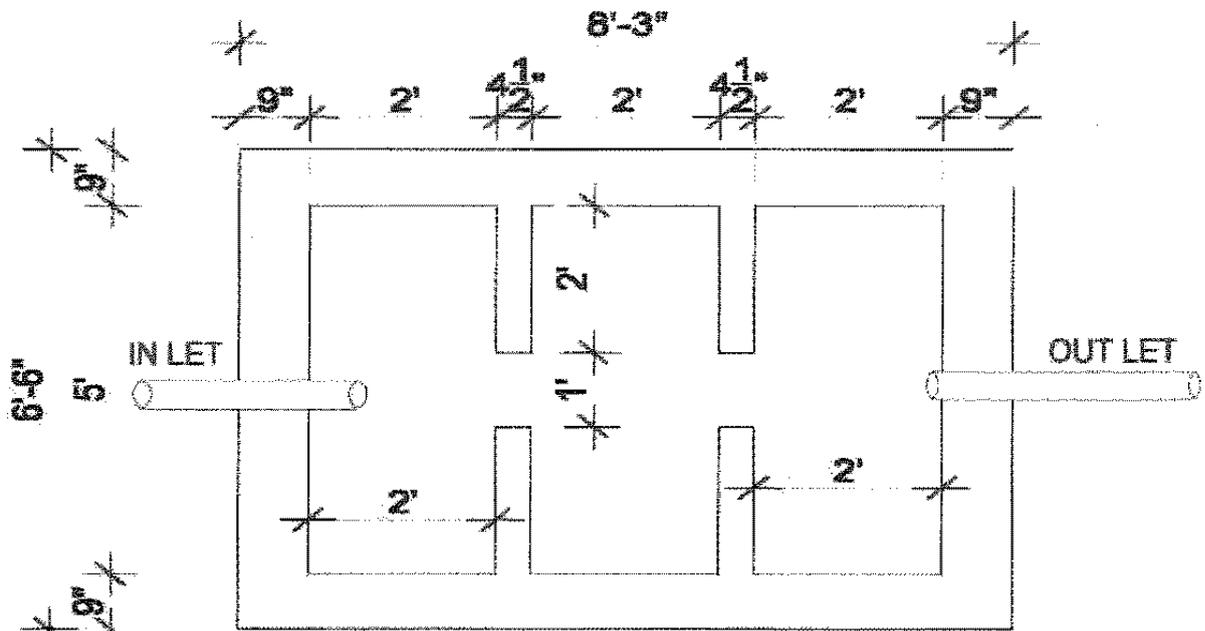
**ANNEX 'E'**

**TYPICAL SEPTIC TANK DESIGN**



**SECTION OF SEPTIC TANK**

SCALE: 1/4"=1'



**PLAN OF SEPTIC TANK**

**ANNEX 'F'**

**STAGE WISE CONSTRUCTION INSPECTION REPORT**

<b>Dates</b>	<b>Construction Schedule</b>	<b>Sign of Surveyor</b>	<b>Sign of Owner / Builder</b>	<b>Remarks</b>
	On completion of Septic tank and temporary toilet			
	After Layout marking / before start of construction			
	On completion of Basement Excavation (if basement is in)			
	Before Concreting of Basement Wall			
	Before Concreting of Basement Roof			
	On completion of foundation of Building and Boundary wall up to DPC Level			
	On completion of Masonry work on Ground floor up to 07 ft.			
	Before Steel reinforcement / Concreting of Ground Floor Roof			
	On completion of Masonry work up to 07 ft. of First Floor			
	Before Steel reinforcement / Concreting of First Floor			
	On completion of Masonry work up to 07 ft. of Second Floor			
	Before Steel reinforcement / Concreting of Second Floor			
	Before construction of Mumty			
	Before completion of Mumty roof			
	On completion of Overhead & Underground water tanks and gate			
	On completion of Masonry walls on three sides of overhead water tank (for plastic tank only)			

Plot No \_\_\_\_\_ Site Inspector \_\_\_\_\_

Owner / Contractor's Name \_\_\_\_\_ Phone Nos \_\_\_\_\_

**Note**

It is obligatory on the Owner / Contractor to contact site inspector on his cell phone for carrying out inspection of each stage mentioned above. Otherwise, Owner shall be personally responsible for any violation occurring at the site.

**ANNEX-G**

**INDEMNITY BOND**

**I, THE OWNER OF Plot #** \_\_\_\_\_ / Residential / Commercial at **ETIHAD TOWN**

(Pvt) Ltd. Lahore \_\_\_\_\_ D/O or S/O \_\_\_\_\_ the

owner / builder do hereby declare and affirm that I would solely be responsible and I, undertake to pay damages or make good if any damage is caused to life or limb of any person, adjoining properties or horticulture and trees, Gas lines, Telecommunication lines (Telephone Cable etc) Electricity Supply system etc. During the course of excavation for foundation or basements and construction of the building. I also undertake to completely indemnify the “**ETIHAD TOWN**” (Pvt.) Ltd. And its employees in case of any such eventuality as mentioned above.

**Name of the Owner:** \_\_\_\_\_

**Witness 1** \_\_\_\_\_

NIC NO. \_\_\_\_\_ NIC NO. \_\_\_\_\_

Address: \_\_\_\_\_

Address: \_\_\_\_\_

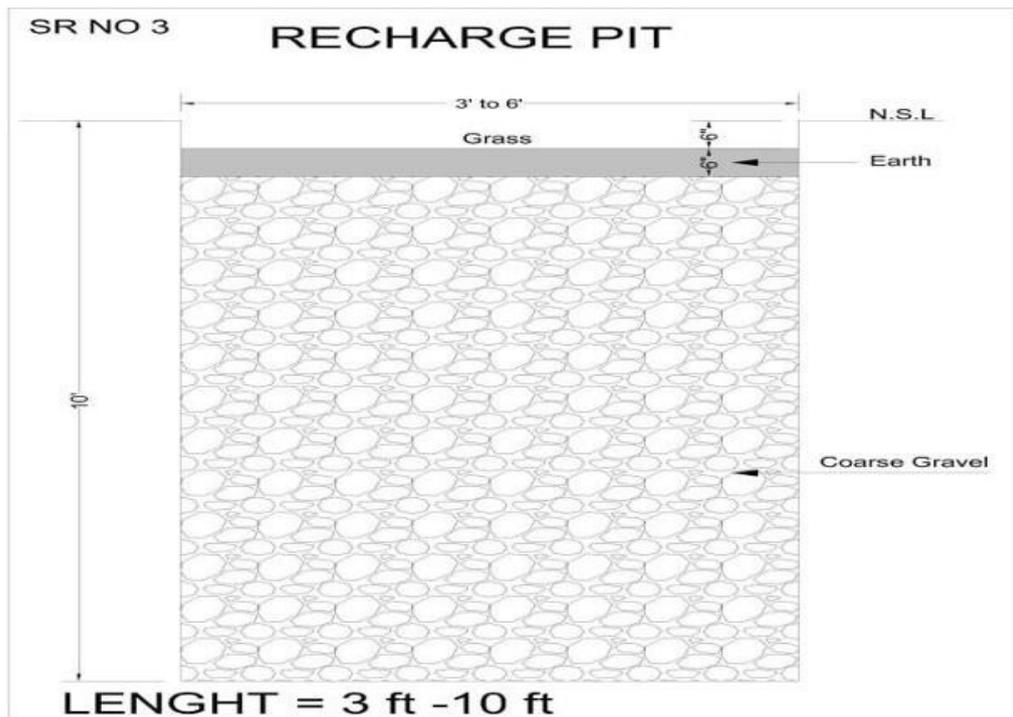
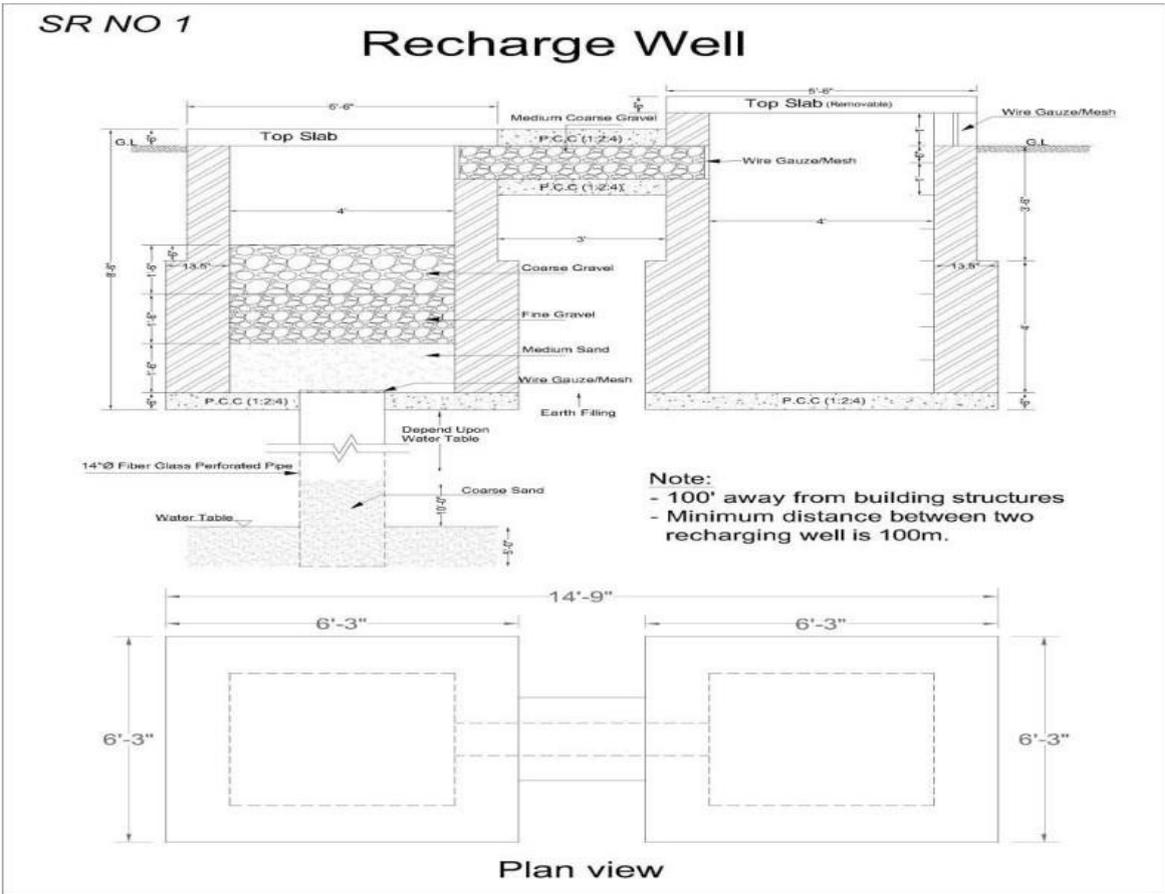
Signature \_\_\_\_\_

Signature \_\_\_\_\_

Date: \_\_\_\_\_

Date: \_\_\_\_\_

**ANNEX - H**



**ANNEX-I**  
**VIOLATION CHARGES / FINES**

Violation	Category	Charges	
		1 <sup>st</sup> Time Offence	2 <sup>nd</sup> Time Offence
Material Stacking on Road or Paved Area.	05 Marla	5,000	10,000
Material Stacking on Road or Paved Area	10 Marla	5,000	10,000
Material Stacking on Road or Paved Area	Above 10 Marla	5,000	10,000
Material Mixing on Road / Paved Area	5 Marla	15,000	30,000
Material Mixing on Road / Paved Area	10 Marla	20,000	40,000
Material Mixing on Road / Paved Area	Above 10 Marla	30,000	60,000
Steel Cutting on Road or Paved Area	All Category	20,000	40,000
Late night Working without Approval	All Category	5,000	10,000
Non-removal of debris/ waste of construction material / after construction material within 7 days	All Category	20,000	40,000
In addition to above fines, any damages to the property of the Society or any other plot / house shall be fully recovered from the Plot Owner.			